

**The following pertains to the documents that follow this sheet.**

**Note: Some of the originals are poor quality.**

**RECEIVED AT STNC ON 10-4-07**

**54 PAGES TOTAL TO THIS DOCUMENT**

**RE: CPC-2007-4365,ZC,ZAA,ZAD  
12232 BIG TUJUNGA CYN RD., TUJUNGA**

**Project Description as described on Master Land Use Permit Application:**

**A Vesting Zone Change to correct an invalid zone designation of A1-1-H in the low density land use cat. To RE9-1-H (?) as required by the community and specific plans. A phased VTM 66211 (?) with merger and resubdivision and a specific plan consistency review.**

**Present Use: Vacant**

**Proposed Use: RE9-1-H Zone w/268 detached SFR**

**RECEIVED**  
**OCT 04 REC'D**  
 BY: \_\_\_\_\_

**MASTER LAND USE PERMIT APPLICATION**  
 LOS ANGELES CITY PLANNING DEPARTMENT

*Planning Staff Use Only*

ENV No. <u>2007-4366</u>	Existing Zone <u>AI-1-II</u>	District Map <u>2168197</u>
APC <u>NORTH VALLEY</u>	Community Plan <u>SNLD, TUJUNGA, LVI, SII, PLTC</u>	Council District <u>2</u>
Census Tract <u>101121</u>	APN <u>SEE ATTACHED</u>	Staff Approval *
		Date

**CPC 2007-4365 ZC, ZAA, ZAD**

CASE NO. \_\_\_\_\_  
 APPLICATION TYPE VESTING ZC, VTM-MERGER AND RESUBDIVISION, ZAD, ZAA, TREE PERMIT AND SPEC REVIEW  
*(zone change, variance, conditional use, front/side/rear specific plan exception, etc.)*

**1. PROJECT LOCATION AND SIZE**

Street Address of Project 12232 BIG TUJUNGA CYN RD. Zip Code 91402  
 Legal Description: Lot SEE ATTACHED Block \_\_\_\_\_ Tract \_\_\_\_\_  
 Lot Dimensions IRREGULAR Lot Area (sq. ft.) 4.8 MILLION SF Total Project Size (sq. ft.) 3.59 MILLION SF

**2. PROJECT DESCRIPTION**

Describe what is to be done: A VESTING ZONE CHANGE TO CORRECT AN INVALID ZONE DESIGNATION OF AI-1-II IN THE LOW DENSITY LAND USE CAT. TO RE9-1-II AS REQUIRED BY THE COMMUNITY AND SPECIFIC PLANS A PHASED VTM 66214 W/ MERGER AND RESUBDIVISION AND A SPECIFIC PLAN CONSISTENCY REVIEW

Present Use: VACANT Proposed Use: RE9-1-II ZONE W/ 268 DETACHED SFR  
 Plan Check No. (if available) \_\_\_\_\_ Date Filed: \_\_\_\_\_

- Check all that apply:
- New Construction
  - Change of Use
  - Alterations
  - Demolition
  - Commercial
  - Industrial
  - Residential
  - Additions to the building:
    - Rear
    - Front
    - Height
    - Side Yard

**3. ACTION(S) REQUESTED**

Describe the requested entitlement which either authorizes actions OR grants a variance:

Code Section from which relief is requested \_\_\_\_\_ Code Section which authorizes relief: SECT. 12.33 Q  
PURSUANT TO GOVT. CODE SECT. 65860, THE REQUEST SEEKS TO BRING THE ZONE DESIGNATION AI-1-II INTO CONSISTENCY W/ THE COM. PLAN VIA A VZC TO RE9-1-II TO ACQUIRE BUILDING PERMITS.

Code Section from which relief is requested: SECT 12.21.C.8 Code Section which authorizes relief: SECT. 12.24.X.7,26  
REQUEST TO CONSTRUCT MORE THAN ONE (1) 8 FT TO 10 FT OR TWO (2) WALLS OR RETAINING WALLS ON A LOT AND/OR CONSTRUCTION WITH A SUBDIVISION IN A HILL-SIDE AREA IN REQUIRED YARDS.

Code Section from which relief is requested: SECT 12.21.A.17(A) Code Section which authorizes relief: SECT 12.24.X.11(2)  
THE REQUEST SEEKS TO PERMIT A REDUCED VARIABLE FRONT SETBACK ON NOT MORE THAN 20% OF THE LOTS WITHIN A HILL-SIDE AREA TO ASSIST IN BREAKING UP THE BUILDING MASS

Code Section from which relief is requested: SECT. 12.22.C.18 Code Section which authorizes relief: SECT. 17.05.II.1  
A REQUEST TO UTILIZE LOT AVERAGING AND REDUCED FRONTAGES (MIN. 60 FT.) IN A HILL-SIDE AREA ON NOT MORE THAN 20% OF THE LOTS TO ACCOMMODATE CLUSTERED DEVELOPMENT FOR THE PROJECT.

List related or pending case numbers relating to this site:

VTM 66214 - MERGER AND RESUBDIVISION OF A PHASED MAP TO DEVELOP 268 SINGLE FAMILY HOMES  
OAK TREE PERMIT - REMOVAL AND REPLACEMENT OF SIX (6) PROTECTED TREES  
SPECIFIC PLAN CONSISTENCY REVIEW

RECEIVED  
CITY OF PASADENA  
PLANNING DEPARTMENT  
SEP 10 2007

SIGNATURES of adjoining or neighboring property owners in support of the request; not required but helpful, especially for projects in single-family residential areas. (Attach sheet, if necessary)

NAME (Print)	SIGNATURE	ADDRESS	KEY # ON MAP

4. OWNER/APPLICANT INFORMATION

Applicant's Name ALLAN MARTIA Company KD PARTNERS  
 Address: 525 E COLORADO AVE., NO 300 Telephone: (626) 440-8288 Fax: (626) 609-2359  
PASADENA, CA Zip: 91101 E-mail: allan.martia@kdpartners.com

Property Owner's Name (if different than applicant) COACH 20, LLC  
 Address: 525 E. COLORADO AVE., NO 300 Telephone: (626) 440-8288 Fax: (626) 609-2359  
PASADENA CA Zip: 91101 E-mail: \_\_\_\_\_

Contact Person for project information ROB SEARCY, TERRA FIRMA SERVICES  
 Address: 19706 TRAMMELL LANE Telephone: (323) 646-8550 Fax: (818) 832-6612  
CHATSWORTH CA Zip: 91311 E-mail: CNMEROLL@aol.com

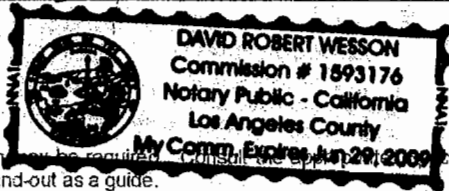
5. APPLICANT'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

- a. The undersigned is the owner or lessee if entire site is leased, or authorized agent of the owner with power of attorney or officers of a corporation (submit proof). (NOTE: for zone changes lessee may not sign).
- b. The information presented is true and correct to the best of my knowledge

Signature: *Allean*  
 Print: ALLAN MARTIA  
 Date: 9-10-2007

Subscribed and sworn before me this (date): 9-10-2007  
 In the County of Los Angeles State of California  
 Notary Public *[Signature]*  
 Stamp: \_\_\_\_\_



7. ADDITIONAL INFORMATION/FINDINGS

In order for the City to render a determination on your application, additional information may be required. Consult the applicant's "Additional Instructions" handout. Provide on attached sheet(s) this additional information using the hand-out as a guide.

NOTE: All applicants are eligible to request a one time, one-year only freeze on fees charged by various City departments in connection with your project. It is advisable only when this application is deemed complete or upon payment of Building and Safety plan check fees. Please ask staff for details on an application.

**CPC 2007-4365**  
Planning Staff Use Only

Base Fee <u>44564</u>	Reviewed and Accepted by <u><i>[Signature]</i></u> Date <u>9/11/07</u>
Receipt No. <u>269589</u>	Deemed Complete by _____ Date _____





W. E. JACKSON CORPORATION  
ARCHITECTS & ENGINEERS  
(310) 360-7500  
8845 WILHELM ROAD, SUITE 200  
BEVERLY HILLS, CALIFORNIA 90211

STONEBRIDGE  
CANYON ESTATES  
12233 N. BIG TULUNG CANYON RD.  
TULUNG, CA 91082

PRELIMINARY SET

HO PARTNERS, LLC  
525 E. COLORADO BLVD. SUITE 200  
PASADENA, CA 91101  
TEL: (818) 799-3333  
FAX: (818) 799-3339  
REPRESENTATIVE: ALAN MARTA

TERRA FIRMA SERVICES  
1000 W. WASHINGTON ST.  
CANAVERA, CA 92001  
PH: (818) 832-8881  
FAX: (818) 832-8882

SYMBOLS & LEGENDS

100	SPACE OR ROOM NUMBER	BRICK
100	DOOR NUMBER	CONCRETE BLOCK
100	WINDOW NUMBER	METAL STUD WALL
10	WALL ELEVATION NUMBER SHEET ON WHICH OCCURS	CONCRETE (LG. SCALE)
10	DETAIL NUMBER SHEET ON WHICH OCCURS	CONCRETE (SM. SCALE)
10	BUILDING SECTION NUMBER SHEET ON WHICH OCCURS	AGGREGATE BASE
10	WALL SECTION NUMBER SHEET ON WHICH OCCURS	EARTH
10	REVISION NUMBER / LETTER / SHEAR PANEL	ASPHALTIC CONCRETE
10	COLUMN GRID LINES	DIMENSION LUMBER
10	MATCH LINE	WOOD SHIM OR BLOCKING
10	STARTING/WORK POINT	FINISHED FLOOR
10		INSULATION
10		ACOUSTICAL TILE
10		PLYWOOD
10		GYPSON BOARD
10		PLASTER / GROUT / GEMENT
10		ALUMINUM
10		STEEL
10		BRASS OR BRONZE
10		METAL IN ELEVATION
10		CERAMIC TILE
10		WEATHER SEAL
10		GLASS
10		RESILIENT FLOORING

ABBREVIATIONS

ABV.	ABOVE	COMPO.	COMPOSITION	FT./'	FOOT	MAX.	MAXIMUM	5.	SOUTH SPECIFICATIONS
AC.	ACCELTICAL	CONC.	CONCRETE	FTG.	FOOTING	MEZ.	MEZZANINE	5G/7B	STANDARD
ADJ.	ADJUSTABLE	CONF.	CONFERENCE	FDR.	FLOORING	MIN.	MINIMUM	STL.	STRUCTURAL
ADMN.	ADMINISTRATION	CONN.	CONNECTION	GAL.	GALLON	MISC.	MISCELLANEOUS	SUPP.	SUPPORT
ALT.	ALTERNATE	CONT.	CONTINUE	GALV.	GALVANIZED	MULL.	MULLION	SYS.	SYSTEM (ED)
ALUM.	ALUMINUM	CONTR.	CONTRACT (OR)	G.I.	GALVANIZED IRON	MEZ.	MEZZANINE	STRUC.	STRUCTURAL
ANCH.	ANCHOR BOLT	DEG./°	DEGREE	G.	GAS	MIN.	MINIMUM	T & P	TELEPHONE & POWER
ANGLE	ANGLE	DIAM./Ø	DIAMETER	GA.	GAUGE	MISC.	MISCELLANEOUS	TEMP.	TEMPERED
ARCH.	ARCHITECT (URAL)	DM.	DIMENSION	GLU-LAM	GLUED LAMINATED	MULD.	MULLION	THR.	THICK (NESS)
ASPH.	ASPHALT	DISP.	DISPENSER	GYP.	GYPSON	NAT.	NATURAL	T & B	TOP & BOTTOM
ASP.	ASPHALTIC CONCRETE	DR.	DOOR	HDV.	HARDWARE	N.	NORTH	T.C.	TOP OF CURB
AT	AT	DN.	DOWN	HDWD.	HARDWOOD	N.	NORTH	T.O.P.	TOP OF EXISTING
BSMT.	BASEMENT	DS.	DOWNSPOUT	HT.	HEIGHT	N.C.	NOT IN CONTRACT	T.S.	TOP OF PARAPET
B.	BATHROOM	DWS.	DRAWING	H.M.	HOLLOW METAL	N.T.S.	NOT TO SCALE	T.A.	TOP OF SHEETING
BM.	BEAM	D.F.	DRINKING FOUNTAIN	H.B.	HOSE BIB	NO./#	NUMBER	TYP.	TYPICAL
B.R.	BEDROOM	D.S.P.	DRY STANDPIPE	H.V.	HOT WATER	O.C.	ON CENTER	VENT.	VENTILATE (ION)
BEL.	BELOW	EA.	EACH	INFO.	INFORMATION	OPNG.	OPENING	VERT.	VERTICAL
B.L.	BETWEEN	E.	EAST	ILLUM.	ILLUMINATION (ED)	OPF.	OPPOSITE	V.	VENTER
B.LK (G)	BLOCKING	ELEC.	ELECTRIC (AL)	ID.	INSIDE DIAMETER	PNL.	PANEL	M.	MATER
B.D.	BOARD	EL.	ELEVATION	INSUL.	INSULATE (ION)	PLAS.	PLASTER	M.C.	MATER CLOSET
B.M.	BOTHWAYS	ELEV.	ELEVATOR	INT.	INTERIOR	PL.	PLATE	M.T.	MATCH
B.O.	BOTTOM	ENCL.	ENCLOSURE	INTER.	INTERMEDIATE	PLAS.	PLASTER	M.F.	METEL WIRE FABRIC
B.LDG.	BUILDING	ENT.	ENTRANCE	JAN.	JANITOR	PL.	PLATE	M.F.	METEL WIRE FABRIC
CAB.	CABINET	EQ.	EQUAL	J.T.	JOINT	PL.	PLATE	M.F.	METEL WIRE FABRIC
C.O.	CASED OPENING	EQUIP.	EQUIPMENT	K.C.P.	KEYNES CEMENT	PLAS.	PLASTER	M.F.	METEL WIRE FABRIC
C.I.	CAST IRON	EXH.	EXHAUST	LAB.	LABORATORY	PLAS.	PLASTER	M.F.	METEL WIRE FABRIC
C.B.	CATCH BASIN	EXP.	EXPANSION	LAV.	LAVATORY	PLAS.	PLASTER	M.F.	METEL WIRE FABRIC
CLKG.	CAULKING	EXPO. (E)	EXPOSURE (D/)	LAV.	LAVATORY	PLAS.	PLASTER	M.F.	METEL WIRE FABRIC
CLG.	CEILING	EXT.	EXTERIOR	LINE.	LINEAL	PLAS.	PLASTER	M.F.	METEL WIRE FABRIC
C.M.	CEMENT	F.S.	FACE OF STUD	L.V.	LOUVER (ED)	PLAS.	PLASTER	M.F.	METEL WIRE FABRIC
C.G.	CENTER LINE	FIN.	FINISH	L.V.	LOUVER (ED)	PLAS.	PLASTER	M.F.	METEL WIRE FABRIC
CER.	CERAMIC	FIN.	FINISH	L.V.	LOUVER (ED)	PLAS.	PLASTER	M.F.	METEL WIRE FABRIC
CH.	CHANNEL	FLX.	FLASHING	L.V.	LOUVER (ED)	PLAS.	PLASTER	M.F.	METEL WIRE FABRIC
C.O.	CLEAN OUT	FL.	FLOOR	L.V.	LOUVER (ED)	PLAS.	PLASTER	M.F.	METEL WIRE FABRIC
C.L.R.	CLEAR	F.L.	FLOOR LINE	L.V.	LOUVER (ED)	PLAS.	PLASTER	M.F.	METEL WIRE FABRIC
C.L.	CLOSET	F.D.	FLOOR DRAIN	L.V.	LOUVER (ED)	PLAS.	PLASTER	M.F.	METEL WIRE FABRIC
C.C.	COLD WATER	F.D.	FLOOR DRAIN	L.V.	LOUVER (ED)	PLAS.	PLASTER	M.F.	METEL WIRE FABRIC
C.O.	COLUMN	F.LOR.	FLOOR	L.V.	LOUVER (ED)	PLAS.	PLASTER	M.F.	METEL WIRE FABRIC
COL.	COMBINATION	FLOR.	FLOOR	L.V.	LOUVER (ED)	PLAS.	PLASTER	M.F.	METEL WIRE FABRIC
COMB.	COMBINATION			L.V.	LOUVER (ED)	PLAS.	PLASTER	M.F.	METEL WIRE FABRIC

GENERAL NOTES

1. THESE CONSTRUCTION DOCUMENTS, CONSISTING OF DRAWINGS AND SPECIFICATIONS, COVER THE FINISHING AND INSTALLATION OF ALL MATERIALS AND LABOR REQUIRED AND THE FINISHING IS DEEMED NECESSARY TO COMPLETE THIS PROJECT AS DESCRIBED HEREIN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROVIDING ALL NECESSARY INFORMATION TO THE CITY OF PASADENA AND THE COUNTY OF SAN BERNARDINO TO OBTAIN SUCH PERMITS AND FOR PROVIDING ALL NECESSARY INFORMATION TO THE CITY OF PASADENA AND THE COUNTY OF SAN BERNARDINO TO OBTAIN SUCH PERMITS.
3. VERIFY ALL DIMENSIONS AND BATTERY HIMSELF AS TO THE EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGATED TO OPERATE.
4. NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING WORK. NOTIFY THE ARCHITECT IF ANY CONDITIONS EXIST WHICH WILL PREVENT THE CONTRACTOR FROM COMPLETING THE WORK AS SHOWN ON THE DRAWINGS. ALL NOTIFICATIONS SHALL BE IN WRITING WITH COPY TO OWNER.
5. THE GENERAL CONTRACTOR SHALL RECEIVE WRITTEN AUTHORIZATION TO COMMENCE CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY PERMITTED BY THE CONSTRUCTION PERMITS/CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL DECISIONS AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S/VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
8. CONTRACTOR SHALL COMPLY FULLY WITH THE LATEST EDITION OF THE LOCAL BUILDING CODE, ALL LAWS AND ORDINANCES PERTINENT TO ALL WORK OF THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROVIDING ALL NECESSARY INFORMATION TO THE CITY OF PASADENA AND THE COUNTY OF SAN BERNARDINO TO OBTAIN SUCH PERMITS.
9. ALL DIMENSIONS ARE FROM FACE OF EXISTING CONCRETE SLABS EXCEPT WHERE NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROVIDING ALL NECESSARY INFORMATION TO THE CITY OF PASADENA AND THE COUNTY OF SAN BERNARDINO TO OBTAIN SUCH PERMITS.
10. GENERAL CONTRACTOR SHALL PROVIDE AT THE PROJECT SITE A FULL SET OF CONSTRUCTION DOCUMENTS TO BE MAINTAINED THROUGHOUT THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROVIDING ALL NECESSARY INFORMATION TO THE CITY OF PASADENA AND THE COUNTY OF SAN BERNARDINO TO OBTAIN SUCH PERMITS.
11. ALL CONDITIONS SHALL BE PER ELECTRICAL.
12. EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING MORE THAN 50 PERSONS (TITLE 19, PART 301).
13. ALL EXISTING CONDITIONS SHALL BE PRESERVED UNLESS NOTED OTHERWISE ON THE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROVIDING ALL NECESSARY INFORMATION TO THE CITY OF PASADENA AND THE COUNTY OF SAN BERNARDINO TO OBTAIN SUCH PERMITS.
14. PROVIDE FIRE EXTINGUISHER AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR (L.A.M.C. 91.01.03).
15. ALL EXTERIOR SPACES ARE ONE HOUR FIRE RESISTIVE CONSTRUCTION (IBC 1004.8.4) UNLESS NOTED OTHERWISE ON THE DRAWINGS.
16. ALL PENETRATIONS THROUGH ONE HOUR WALLS SHALL BE SEALED TO THE SATISFACTION OF THE DEPARTMENT OF BUILDING AND SAFETY AND THE FIRE MARSHAL.
17. CONTRACTOR MUST PERFORM WORK DURING OWNER'S PREFERRED HOURS TO AVOID DISTURBING NORMAL BUSINESS.
18. ONCE HAVING COMMENCED WORK, THE CONTRACTOR SHALL BE DEEMED TO BE RESPONSIBLE FOR MAKING NECESSARY ADJUSTMENTS TO THE WORK AS REQUIRED BY THE DEPARTMENT OF BUILDING AND SAFETY AND THE FIRE MARSHAL.
19. COMPLETE REVISION WORK AND PATCH AND REPAIR SURFACES AS REQUIRED FOR NEW WORK.
20. ALL NEW SURFACES SHALL BE FINISHED TO MATCH SURROUNDING UNLESS NOTED OTHERWISE ON THE DRAWINGS.
21. ALL SURFACE FINISHES SHALL BE SEALED AS REQUIRED TO PREVENT WATER INTRUSION FROM ENTRY.
22. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING UTILITIES AND STRUCTURES FROM DAMAGE DURING CONSTRUCTION. UPON COMPLETION OF WORK, CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
23. CONTRACTOR SHALL SEE TO IT THAT THE GENERAL WORK AREA IS KEPT CLEAN AND FREE OF RUBBER, PREVIOUS EQUIPMENT NOT SPECIFIED AS REMOVING ON THE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROVIDING ALL NECESSARY INFORMATION TO THE CITY OF PASADENA AND THE COUNTY OF SAN BERNARDINO TO OBTAIN SUCH PERMITS.
24. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES (WATER, GAS, SEWER, ETC.) PRIOR TO THE START OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROVIDING ALL NECESSARY INFORMATION TO THE CITY OF PASADENA AND THE COUNTY OF SAN BERNARDINO TO OBTAIN SUCH PERMITS.
25. ALL CONDITIONS SHALL BE PER ELECTRICAL.
26. APPROVED SEISMIC GAS SHUT-OFF VALVE SHALL BE INSTALLED ON THE SIDE OF THE UTILITY METER AND BE READILY ACCESSIBLE TO THE PATRONS OF THE BUILDING ON STRUCTURE CONTAINING THE GAS PIPING.
27. THE EXISTING LANDSCAPE SHALL BE PRESERVED UNLESS NOTED OTHERWISE ON THE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROVIDING ALL NECESSARY INFORMATION TO THE CITY OF PASADENA AND THE COUNTY OF SAN BERNARDINO TO OBTAIN SUCH PERMITS.
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W. E. JACKSON CORPORATION  
 ARCHITECTS & ENGINEERS  
 (310) 360-7000  
 9907 WILSHIRE BOULEVARD, SUITE 500  
 BEVERLY HILLS, CALIFORNIA 90210

STONEBRIDGE  
 CANYON ESTATES

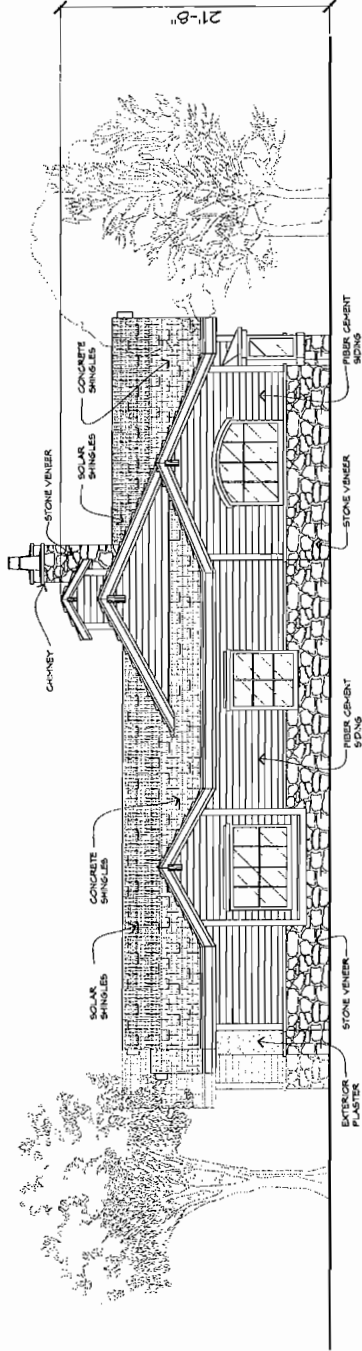
12322 N. BIG TUJUNGA CANYON RD.  
 TUJUNGA, CA 91402

PRELIMINARY SET

2

SCALE:  
 1/4" = 1'-0"

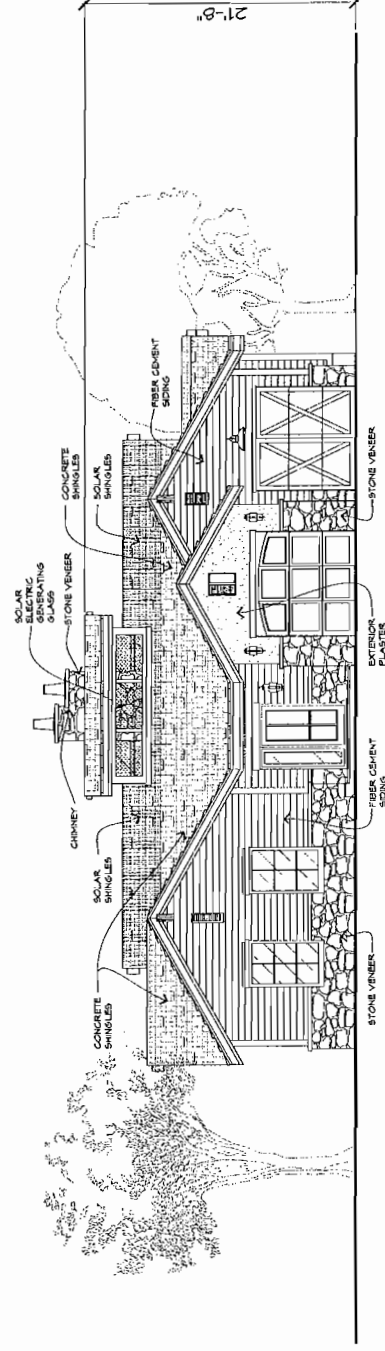
SCHEME A RIGHT SIDE ELEVATION



1

SCALE:  
 1/4" = 1'-0"

SCHEME A FRONT ELEVATION



\*SOLAR ELECTRIC GENERATION ROOF SHINGLES AND SOLAR PANELS WILL ONLY BE LOCATED ON THE EAST, SOUTH, AND WEST PORTIONS OF THE HOUSES AND SHALL BE A BYSTERS OPTION.

DATE	NOV 11 2007
BY	W. E. JACKSON
CHECKED BY	D. JONES
PROJECT NUMBER	01001
REVISION	
NO. 1	
NO. 2	
NO. 3	
NO. 4	
NO. 5	
NO. 6	
NO. 7	
NO. 8	
NO. 9	
NO. 10	

SCHEME A  
 ELEVATIONS

A.13

NOTED: THIS SET OF DRAWINGS IS PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE ARCHITECT'S OFFICE IS NOT RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CLIENT IN OBTAINING SUCH PERMITS AND APPROVALS.

KD PARTNERS, LLC  
 525 E. COLORADO BLVD. SUITE 300  
 PASADENA, CA 91101  
 PH: (818) 799-2200  
 FAX: (818) 799-2289  
 REPRESENTATIVE: ALAN MARTIA

TERRA FIRMA SERVICES  
 12322 N. BIG TUJUNGA CANYON RD.  
 TUJUNGA, CA 91402  
 PH: (818) 832-3881  
 FAX: (818) 832-8612



W.E. JACKSON CORPORATION  
 ARCHITECTS & ENGINEERS  
 (310) 360-7800  
 8807 WILSHIRE BOULEVARD, SUITE 200  
 BEVERLY HILLS, CALIFORNIA 90211

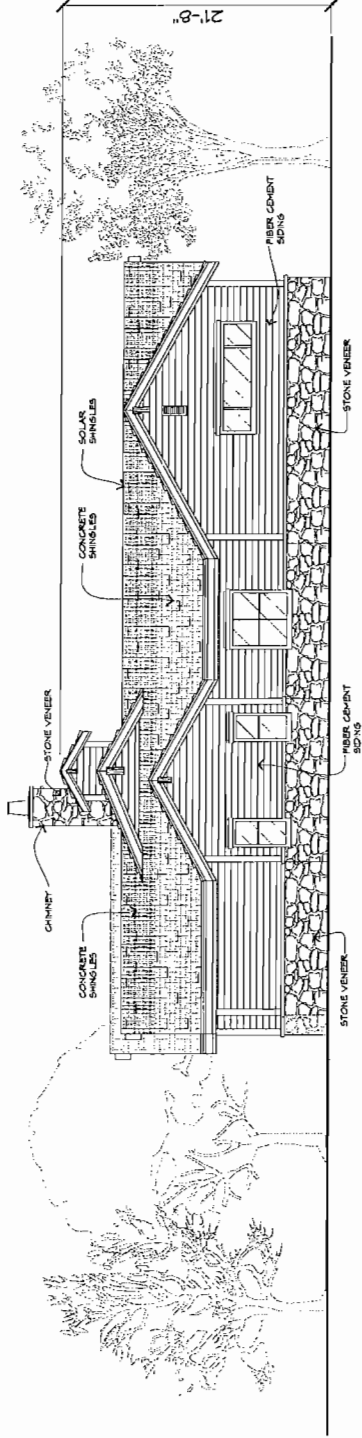
STONEBRIDGE  
 CANYON ESTATES  
 12232 N. BIG TUJUNGA CANYON RD.  
 TUJUNGA, CA 91402

PRELIMINARY SET

2

SCALE: 1/4" = 1'-0"

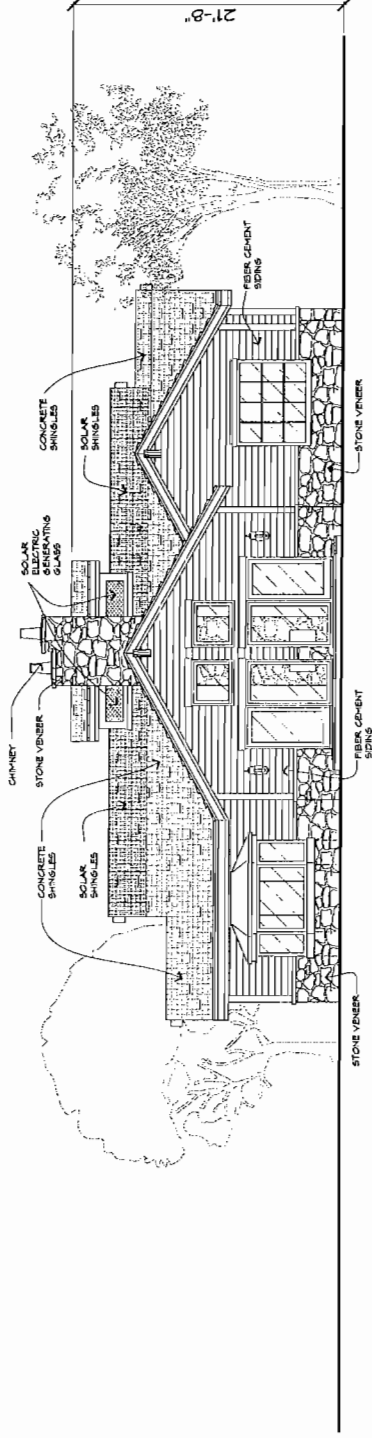
SCHEME A LEFT SIDE ELEVATION



1

SCALE: 1/4" = 1'-0"

SCHEME A REAR ELEVATION



\* SOLAR ELECTRIC GENERATION ROOF SHINGLES AND GLASS SHALL ONLY BE LOCATED ON THE EAST, SOUTH, AND WEST PORTIONS OF THE HOUSES AND SHALL BE A STEREO OPTION.

DATE: 11/11/11	SCALE: 1/4" = 1'-0"
PROJECT: STONEBRIDGE CANYON ESTATES	DATE: 11/11/11
CLIENT: W.E. JACKSON CORPORATION	DATE: 11/11/11
ARCHITECT: W.E. JACKSON CORPORATION	DATE: 11/11/11
ENGINEER: W.E. JACKSON CORPORATION	DATE: 11/11/11
LANDSCAPE ARCHITECT: W.E. JACKSON CORPORATION	DATE: 11/11/11
INTERIOR ARCHITECT: W.E. JACKSON CORPORATION	DATE: 11/11/11
MECHANICAL ENGINEER: W.E. JACKSON CORPORATION	DATE: 11/11/11
ELECTRICAL ENGINEER: W.E. JACKSON CORPORATION	DATE: 11/11/11
CIVIL ENGINEER: W.E. JACKSON CORPORATION	DATE: 11/11/11
PLUMBING ENGINEER: W.E. JACKSON CORPORATION	DATE: 11/11/11
STRUCTURAL ENGINEER: W.E. JACKSON CORPORATION	DATE: 11/11/11
ENVIRONMENTAL ENGINEER: W.E. JACKSON CORPORATION	DATE: 11/11/11
GEOTECHNICAL ENGINEER: W.E. JACKSON CORPORATION	DATE: 11/11/11
ARCHITECTURAL RENDERING: W.E. JACKSON CORPORATION	DATE: 11/11/11
PHOTOGRAPHY: W.E. JACKSON CORPORATION	DATE: 11/11/11
MODEL MAKING: W.E. JACKSON CORPORATION	DATE: 11/11/11
CONSTRUCTION ADMINISTRATION: W.E. JACKSON CORPORATION	DATE: 11/11/11
GENERAL CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
MECHANICAL CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
ELECTRICAL CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
CIVIL CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
PLUMBING CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
STRUCTURAL CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
ENVIRONMENTAL CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
GEOTECHNICAL CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
ARCHITECTURAL RENDERING CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
PHOTOGRAPHY CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
MODEL MAKING CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
CONSTRUCTION ADMINISTRATION CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
GENERAL CONTRACTOR CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
MECHANICAL CONTRACTOR CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
ELECTRICAL CONTRACTOR CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
CIVIL CONTRACTOR CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
PLUMBING CONTRACTOR CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
STRUCTURAL CONTRACTOR CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
ENVIRONMENTAL CONTRACTOR CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
GEOTECHNICAL CONTRACTOR CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
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PHOTOGRAPHY CONTRACTOR CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
MODEL MAKING CONTRACTOR CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
CONSTRUCTION ADMINISTRATION CONTRACTOR CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11
GENERAL CONTRACTOR CONTRACTOR CONTRACTOR: W.E. JACKSON CORPORATION	DATE: 11/11/11

SCHEME A ELEVATIONS

A.1.4

KID PARTNERS, L.L.C.

535 F. COX ROAD, SUITE 200  
 PASADENA, CA 91101  
 PH: (818) 445-8888  
 FAX: (818) 445-7777  
 REPRESENTATIVE: ALAN MARTHA

TERRA FIRMA SERVICES  
 6000 TRAVELLER LANE  
 CANTON, CA 94501  
 PH: (916) 832-9881  
 FAX: (916) 832-9812







W. E. JACKSON CORPORATION  
ARCHITECTS & ENGINEERS  
(310) 360-7800  
6807 WILSHIRE BOULEVARD, SUITE 200  
BEVERLY HILLS, CALIFORNIA 92011

DRILL & SET IN PLACE ALL ANCHORS & BOLTS

STONEBRIDGE  
CANYON ESTATES

12235 N. BIG TUJUNGA CANYON RD.  
TUJUNGA, CA 91402

PRELIMINARY SET

KD PARTNERS, LLC  
10000 W. WILSON BLVD. SUITE 500  
PASADENA, CA 91101  
PH: (818) 442-8888  
FAX: (818) 442-8888

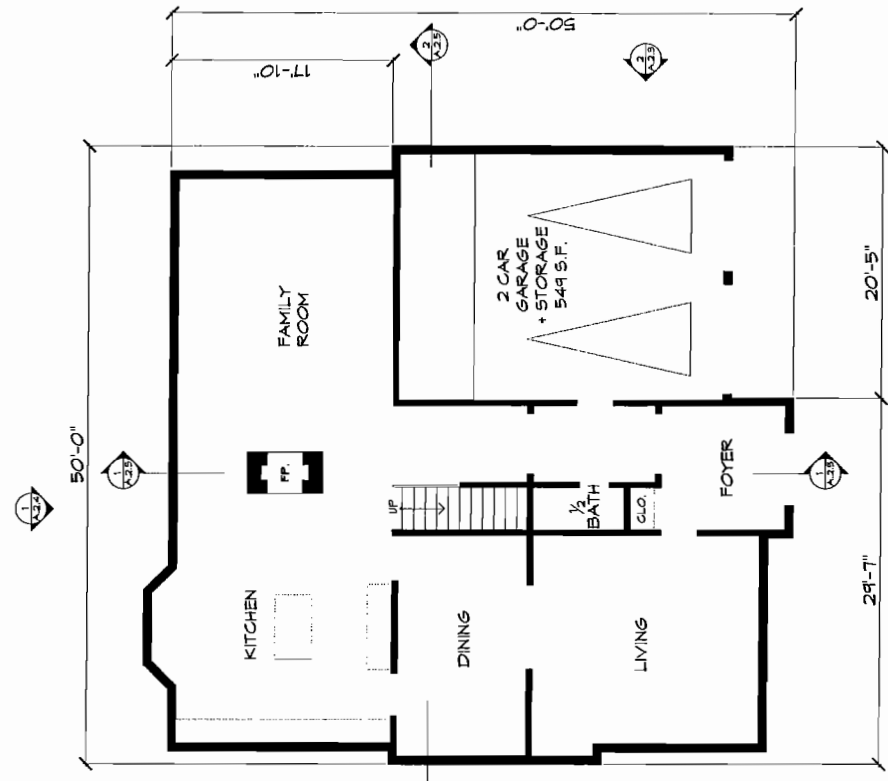
TERRA FIRMA SERVICES  
18708 TRAMMELL LANE  
TERRA FIRMA, CA 91111  
PH: (818) 351-3000  
FAX: (818) 351-8612

NOT TO SCALE  
THIS DRAWING IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

SCHEME B  
FLOOR PLANS

DATE	1/4" = 1'-0"
SCALE	1/4" = 1'-0"
PROJECT NO.	071023
DATE OF ISSUE	APRIL 18, 2007
DESIGNED BY	WEL
CHECKED BY	WEL
DATE OF REVISION	
REVISION	

A.2.2

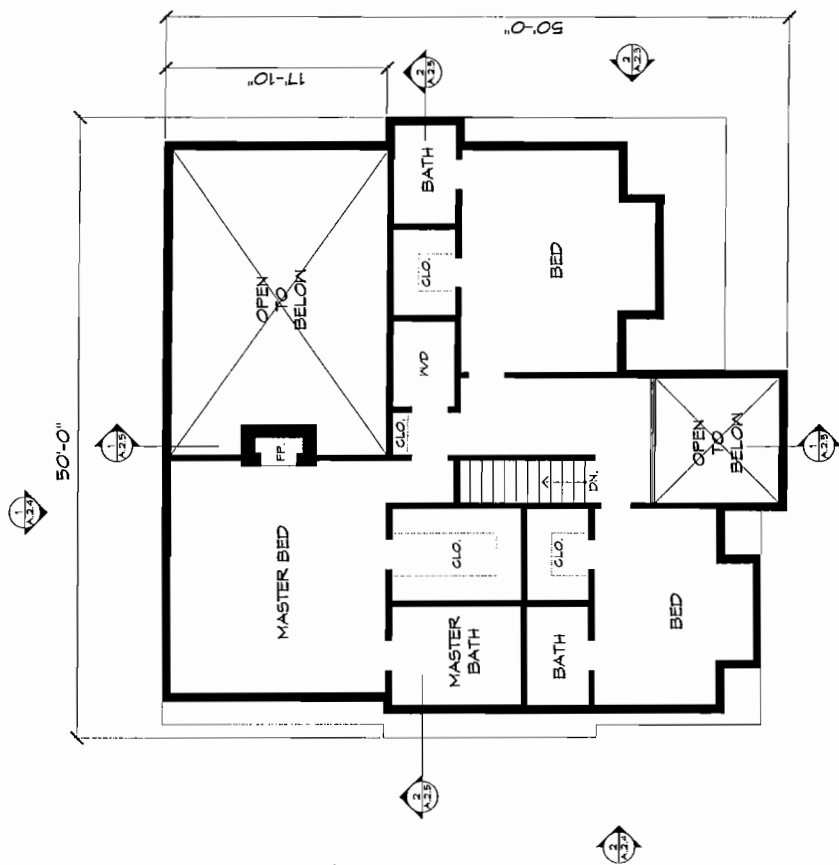


LIVABLE AREA  
1ST FLOOR: 1,1762  
2ND FLOOR: 1,595  
TOTAL: 3,355

SCALE: 1/4" = 1'-0"

SCHEME B FIRST FLOOR

1



SCALE: 1/4" = 1'-0"

SCHEME B SECOND FLOOR

2



W. E. JACKSON CORPORATION  
ARCHITECTS & ENGINEERS  
(310) 362-7800  
6507 WILSHIRE BOULEVARD, SUITE 200  
BEVERLY HILLS, CALIFORNIA 90211

THE LIVING WALL GROUP, INC. - FIRM

STONEBRIDGE  
CANYON ESTATES

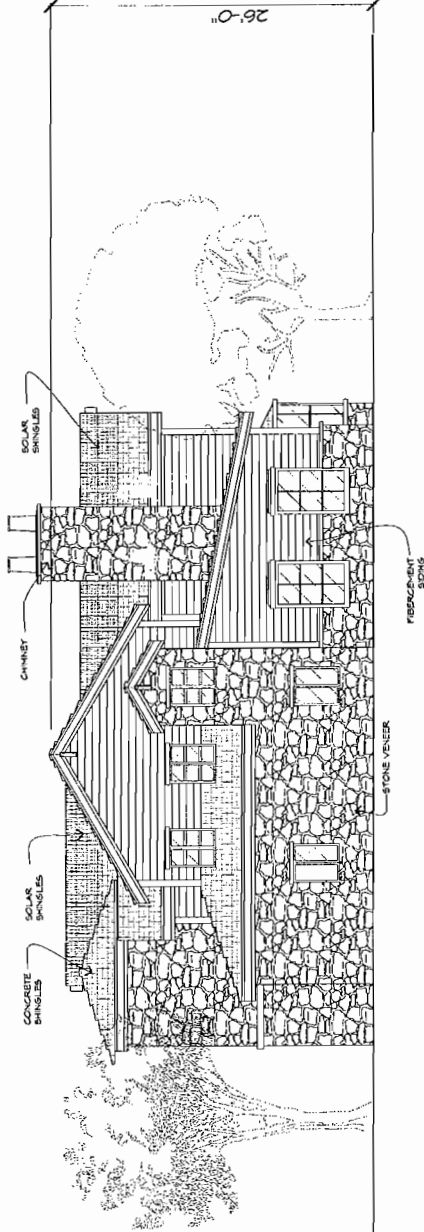
12323 N. BIG TUJUNGA CANYON RD.  
TUJUNGA, CA 91402

PRELIMINARY SET

2

SCALE:  
1/4" = 1'-0"

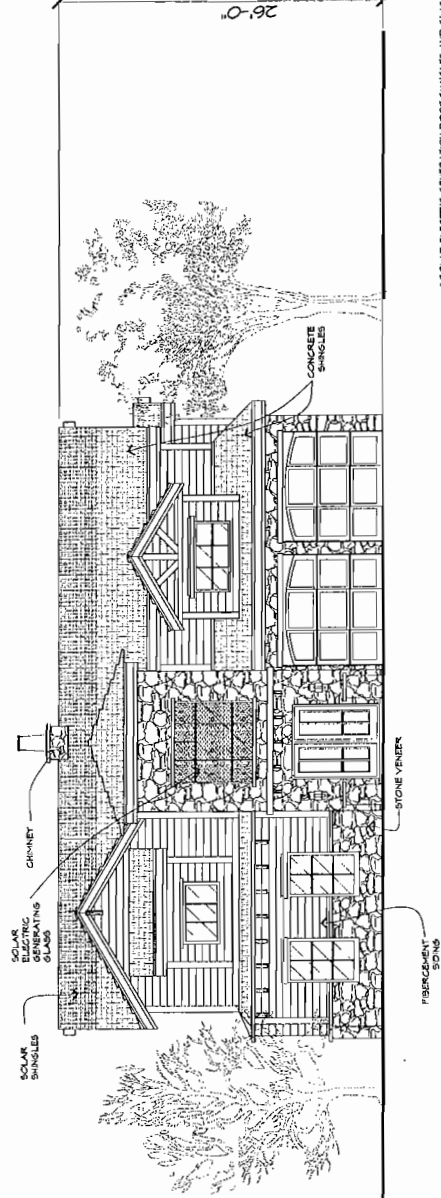
SCHEME B RIGHT SIDE ELEVATION



1

SCALE:  
1/4" = 1'-0"

SCHEME B FRONT ELEVATION



\* SOLAR ELECTRIC GENERATION ROOF SHINGLES AND GLASS ONLY BE  
USED FOR NORTH, WEST, SOUTH, AND OTHER PORTIONS OF THE HOUSE AND HILL  
BE A BUDGET OPTION.

SCHEME B  
ELEVATIONS

DATE:	1/24/12
DESIGNED BY:	OT102
PROJECT NUMBER:	0102
DATE OF LAST REVISION:	
REVISIONS:	
SCALE FOR ELEVATION:	1/4" = 1'-0"
SCALE FOR SECTION:	1/4" = 1'-0"
SCALE FOR PLAN:	1/4" = 1'-0"
SCALE FOR FOUNDATION:	1/4" = 1'-0"

A.2.9

NOT TO SCALE. THIS DRAWING IS ONLY FOR  
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CONSTRUCTION. THE CLIENT IS RESPONSIBLE FOR  
OBTAINING ALL NECESSARY PERMITS AND APPROVALS  
FROM THE LOCAL AND STATE AUTHORITIES.  
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IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR  
MECHANICAL, WITHOUT PERMISSION IN WRITING  
FROM W. E. JACKSON CORPORATION.

TERRA FIRMA SERVICES  
1000 W. 11TH STREET  
PASADENA, CA 91101  
PHONE: (916) 833-8881  
FAX: (916) 833-8882  
REPRESENTATIVE: ALAN MARTIN

KO PARTNERS, LLC  
522 E. COLORADO BLVD. SUITE 500  
PASADENA, CA 91101  
PHONE: (916) 833-8881  
FAX: (916) 833-8882  
REPRESENTATIVE: ALAN MARTIN



W.E. JACKSON CORPORATION  
 ARCHITECTS & ENGINEERS  
 (310) 366-7000  
 (310) 368-7907 FAX  
 8807 WILSHIRE BOULEVARD, SUITE 200  
 BEVERLY HILLS, CALIFORNIA 90211

STONEBRIDGE  
 CANYON ESTATES  
 12232 N. BIG TULUNGA CANYON RD  
 TULUNGA, CA 91762

PRELIMINARY SET

KO PARTNERS, LLC  
 535 E. COLORADO BLVD. SUITE 300  
 PASADENA, CA 91701  
 PH: (818) 795-2222  
 FAX: (818) 795-2228  
 REPRESENTATIVE: ALAN MARTIA

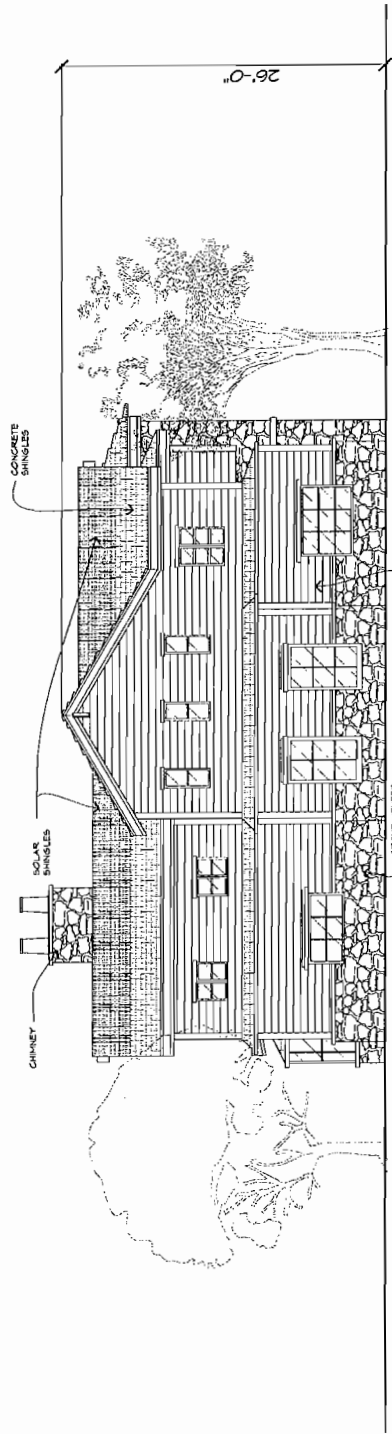
TERRA FIRMA SERVICES  
 17400 WILSON AVENUE  
 CHATSWORTH, CA 91311  
 PH: (818) 833-5861  
 FAX: (818) 833-5812

NOT TO BE USED FOR CONSTRUCTION  
 WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT  
 ANY CHANGES TO THE DRAWING SHALL BE MADE BY THE ARCHITECT  
 ANY CHANGES TO THE DRAWING SHALL BE MADE BY THE ARCHITECT  
 ANY CHANGES TO THE DRAWING SHALL BE MADE BY THE ARCHITECT  
 ANY CHANGES TO THE DRAWING SHALL BE MADE BY THE ARCHITECT

**SCHEME B  
 ELEVATIONS**

DATE: 11/11/11	SCALE: 1/4" = 1'-0"
DESIGNED BY: J.W.	CHECKED BY: J.W.
DRAWN BY: J.W.	DATE: 11/11/11
PROJECT NO: 11-0001	PROJECT NAME: STONEBRIDGE CANYON ESTATES
SHEET NO: 1	TOTAL SHEETS: 1

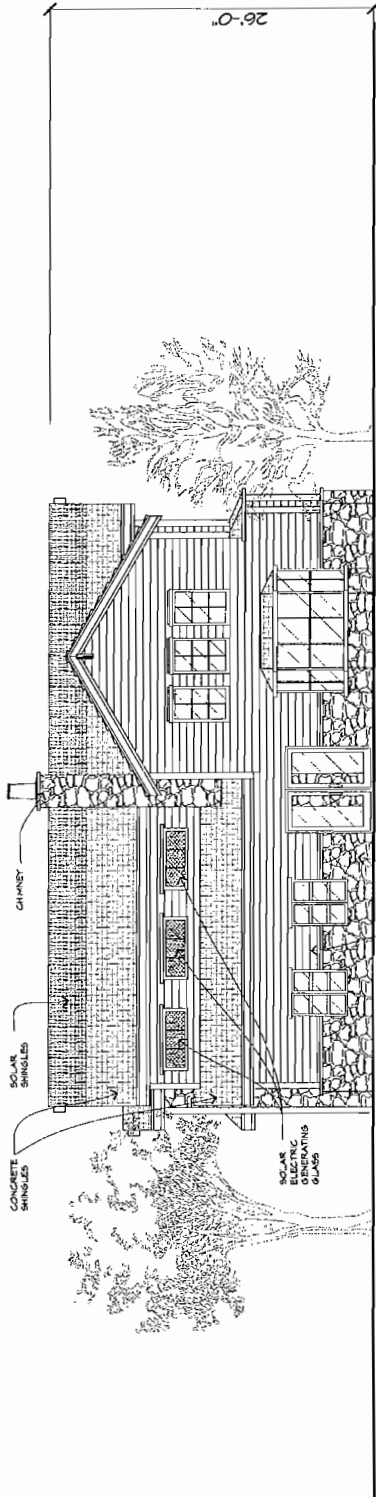
**A.2.4**



SCHEME B LEFT SIDE ELEVATION

2

SCALE: 1/4" = 1'-0"



SCHEME B REAR ELEVATION

1

SCALE: 1/4" = 1'-0"

\* SOLAR ELECTRIC GENERATION ROOF SHINGLES AND GLASS WILL ONLY BE LOCATED ON THE EAST, SOUTH, AND WEST PORTIONS OF THE HOUSES AND WILL BE A BYE-BY OPTION.











W. E. JACKSON CORPORATION  
 ARCHITECTS & ENGINEERS  
 (310) 360-7500  
 (310) 360-7507 FAX  
 6807 WILSHIRE BOULEVARD, SUITE 200  
 BEVERLY HILLS, CALIFORNIA 90211

SCALE: 1/4" = 1'-0"

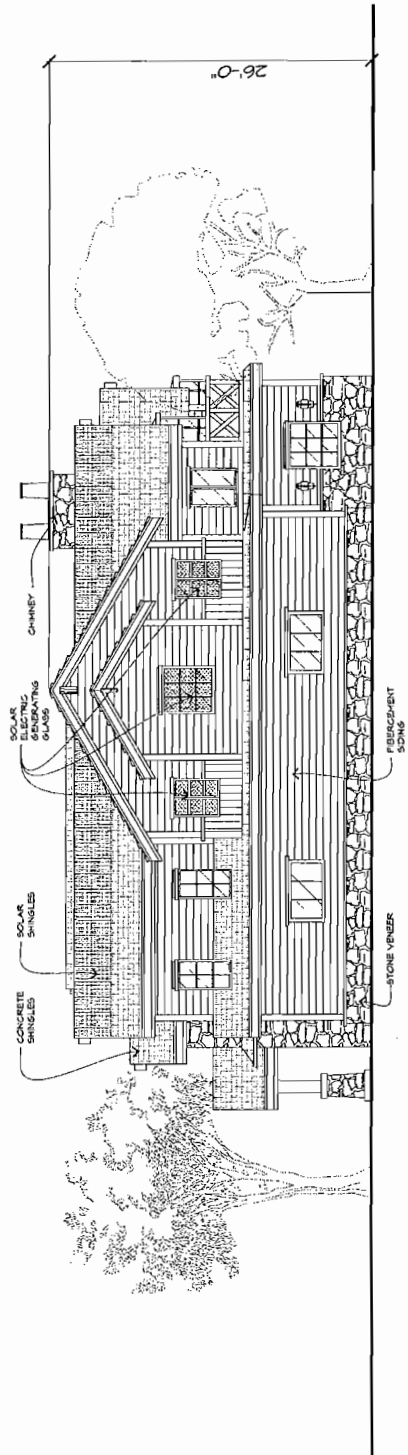
STONEBRIDGE  
 CANYON ESTATES  
 12332 N. BIG TUJUNGA CANYON RD.  
 TUJUNGA, CA 91402

PRELIMINARY SET

2

SCHEME C RIGHT SIDE ELEVATION

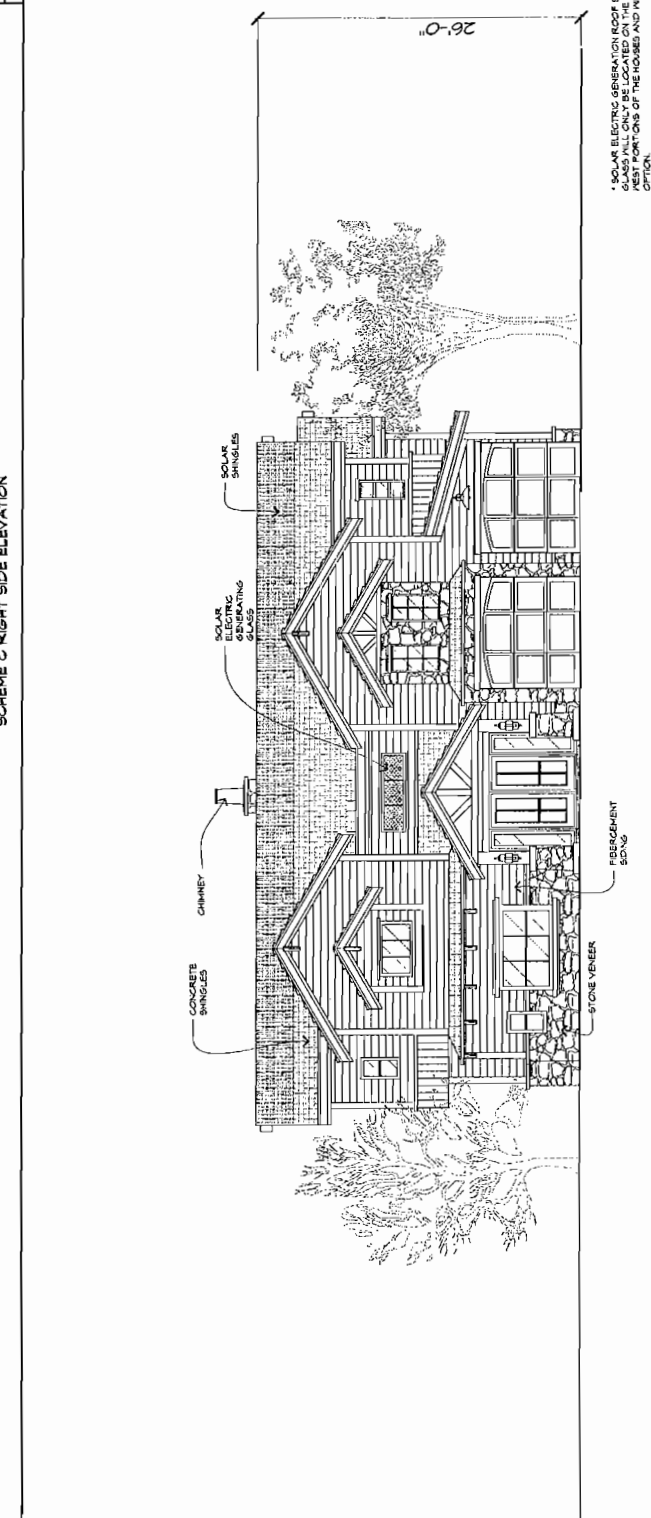
SCALE: 1/4" = 1'-0"



1

SCHEME C FRONT ELEVATION

SCALE: 1/4" = 1'-0"



\* SOLAR ELECTRIC GENERATOR ROOF SHINGLES AND SOLAR ELECTRIC GENERATING GLASS TO BE LOCATED ON THE SOUTH AND WEST FRONT SIDE OF THE HOUSE AND SHALL BE A SEPARATE OPTION.

WITH THE EXCEPTED, THESE ELEVATIONS SHALL BE CONSIDERED AS PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROVISIONS OF THE BUILDING CODES AND ALL OTHER APPLICABLE REGULATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROVISIONS OF THE BUILDING CODES AND ALL OTHER APPLICABLE REGULATIONS.

SCHEME C  
 ELEVATIONS

PROJECT NO.	1147
DATE	1/14/10
DESIGNED BY	AS
PL	D1102
DATE FOR PLOT	1/14/10
DATE FOR PLOT	1/14/10
DATE FOR PLOT	1/14/10
DATE FOR PLOT	1/14/10

A.3.3





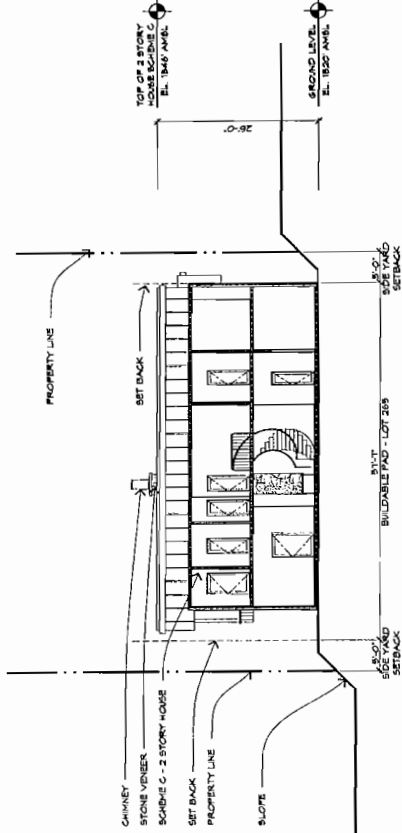
W. E. JACKSON CORPORATION  
ARCHITECTS & ENGINEERS  
(310) 360-7800  
(310) 360-7807 FAX  
6907 WILSHIRE BOULEVARD, SUITE 200  
BENICY HILLS, CALIFORNIA 92011

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STONEBRIDGE  
CANYON ESTATES  
12333 N. BIG TUJUNGA CANYON RD.  
TUJUNGA, CA 91402

PRELIMINARY SET

CROSS SECTION ELEVATION SCHEME C - LOT 265



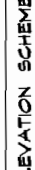
SCALE  
1/8" = 1'-0"



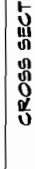
SCALE  
1/8" = 1'-0"



SCALE  
1/8" = 1'-0"



SCALE  
1/8" = 1'-0"

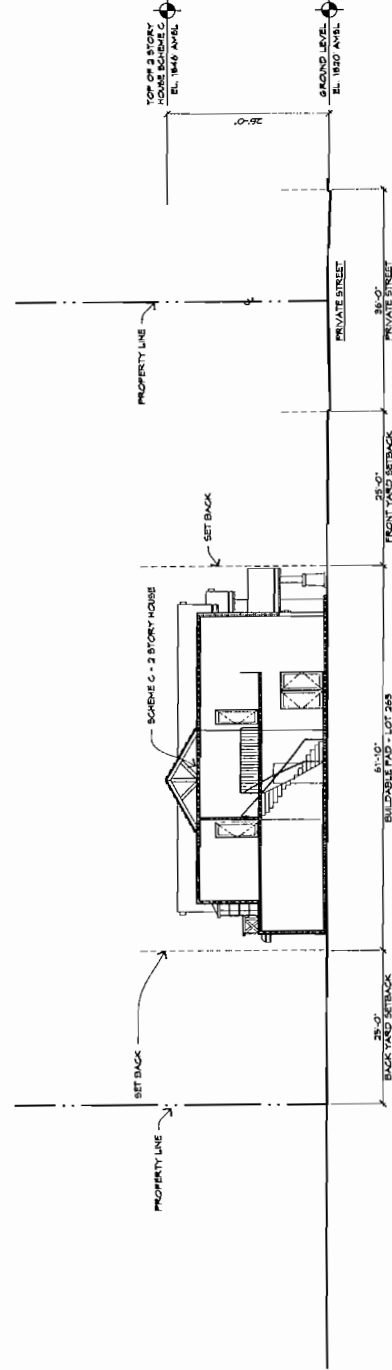


SCALE  
1/8" = 1'-0"



SCALE  
1/8" = 1'-0"

LONGITUDINAL SECTION ELEVATION - SCHEME C LOT 265



SECTION ELEVATIONS

DATE:	NOV 11, 2007
PROJECT:	STONEBRIDGE CANYON ESTATES
CLIENT:	STONEBRIDGE CANYON ESTATES
SCALE:	1/8" = 1'-0"
DATE:	NOV 11, 2007
PROJECT:	STONEBRIDGE CANYON ESTATES
CLIENT:	STONEBRIDGE CANYON ESTATES
SCALE:	1/8" = 1'-0"

A.3.5

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ARCHITECTS & ENGINEERS  
(310) 380-7900  
(310) 340-7907 FAX  
8987 WILSHIRE BOULEVARD, SUITE 200  
BEVERLY HILLS, CALIFORNIA 90211

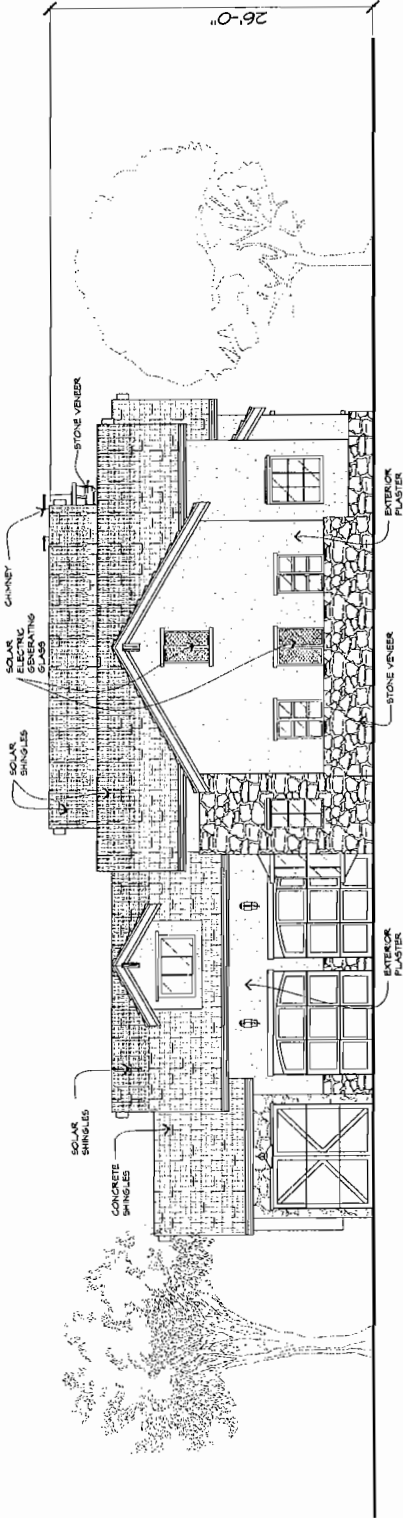
STONEBRIDGE  
CANYON ESTATES  
12232 N. BIG TUJUNGA CANYON RD.  
TUJUNGA, CA 91402

PRELIMINARY SET

2

SCALE  
1/4" = 1'-0"

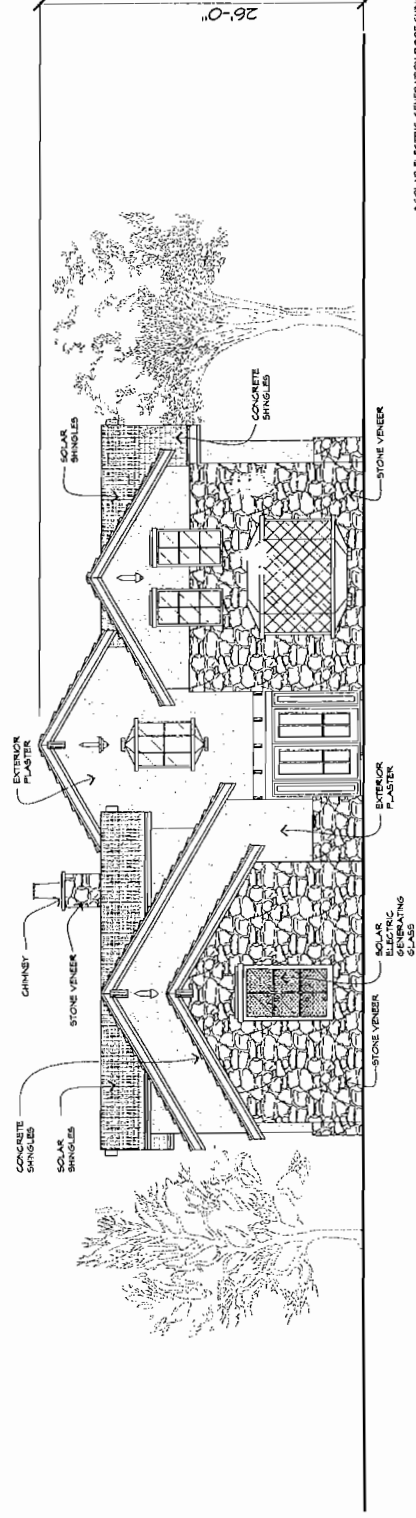
SCHEME D RIGHT SIDE ELEVATION



1

SCALE  
1/4" = 1'-0"

SCHEME D FRONT ELEVATION



\* SOLAR ELECTRIC GENERATION ROOF SHINGLES AND GLASS WILL ONLY BE LOCATED ON THE EAST, SOUTH, AND WEST PORTIONS OF THE HOUSES AND WILL BE A BYERS OPTION.

SCHEME D  
ELEVATIONS

DATE	10/14/07
SCALE	1/4" = 1'-0"
PROJECT	STONEBRIDGE CANYON ESTATES
CLIENT	STONEBRIDGE CANYON ESTATES
DATE	10/14/07
SCALE	1/4" = 1'-0"
PROJECT	STONEBRIDGE CANYON ESTATES
CLIENT	STONEBRIDGE CANYON ESTATES

A.4.3

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KD PARTNERS, LLC  
505 COLONIAL DRIVE, SUITE 200  
PASADENA, CA 91101  
PH: (818) 446-8888  
FAX: (818) 446-8888  
REPRESENTATIVE: ALLAN MARTHA

TERRA FIRMA SERVICES  
1006 TRAMMELL LANE  
PASADENA, CA 91101  
PH: (818) 852-9601  
FAX: (818) 852-9612







W. E. JACKSON CORPORATION  
ARCHITECTS & ENGINEERS  
(310) 360-7800  
(310) 366-7907 FAX  
8807 MULHIRE BOULEVARD, SUITE 200  
BEVERLY HILLS, CALIFORNIA, 92021

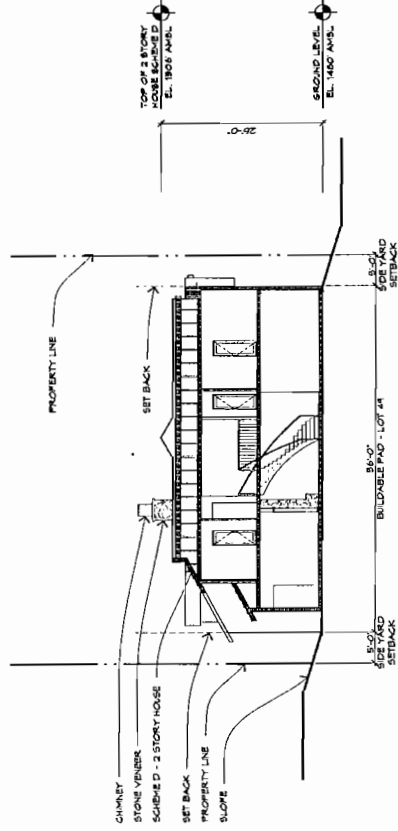
SCALE: 1/8" = 1'-0"

STONEBRIDGE  
CANYON ESTATES

1233 N. BIG TUJUNGA CANYON RD.  
TUJUNGA, CA 91402

PRELIMINARY SET

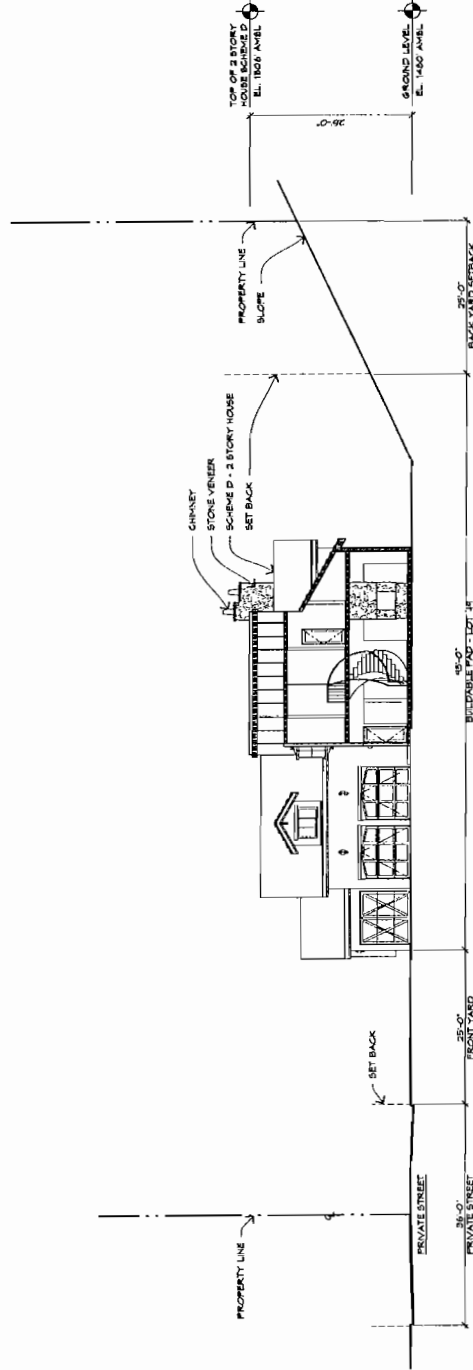
CROSS SECTION ELEVATION SCHEME D - LOT 49



SCALE: 1/8" = 1'-0"

2

ND PARTNERS, LLC  
18700 TRAMMELL LANE  
PASADENA, CA 91109  
PH: (818) 440-8888  
FAX: (818) 440-8888  
REPRESENTATIVE: ALAN MARTIA



SCALE: 1/8" = 1'-0"

1

LONGITUDINAL SECTION ELEVATION - SCHEME D LOT 49

SCHEME D  
SECTION ELEVATIONS

DATE:	SCALE:
1/10/07	1/8" = 1'-0"
PROJECT:	DATE FOR REVIEW:
01102	APRIL 16, 2007
DATE FOR REVIEW:	DATE FOR CONSTRUCTION:
APRIL 16, 2007	

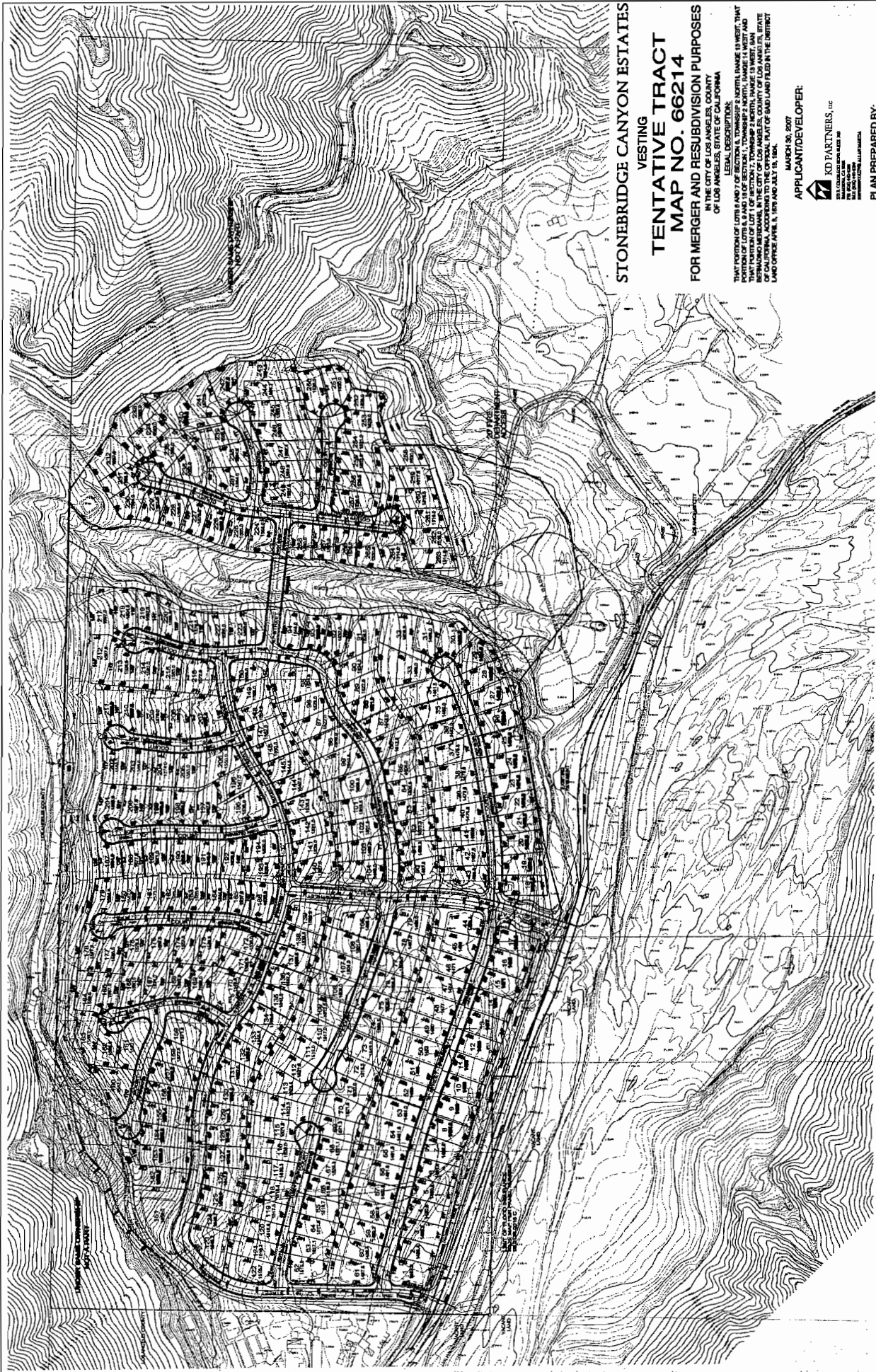
A.4.5

WITH APPROVAL OF THE ENGINEER AND ARCHITECT, THIS SET OF PLANS IS TO BE USED FOR THE CONSTRUCTION OF THE PROJECT ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND FOR THE PROTECTION OF THE EXISTING STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING STRUCTURE.









**STONEBRIDGE CANYON ESTATES**  
**VESTING**  
**TENTATIVE TRACT**  
**MAP NO. 66214**  
**FOR MERGER AND RESUBDIVISION PURPOSES**  
 IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

**LEGAL DESCRIPTION:**  
 THAT PORTION OF LOTS 6 AND 7 OF SECTION 8, TOWNSHIP 2 NORTH, RANGE 15 WEST, THAT  
 THAT PORTION OF LOT 1 OF SECTION 17, TOWNSHIP 2 NORTH, RANGE 15 WEST, SAN  
 FRANCISCO MERIDIAN, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE  
 OF CALIFORNIA, AS SHOWN ON MAP NO. 66214, AND THAT PORTION OF SAID LAND FILED IN THE COUNTY  
 LAND OFFICE APRIL 8, 1979 AND JULY 19, 1984.

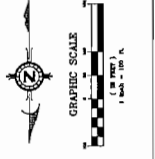
**APPLICANT/DEVELOPER:**  
 MARCH 06, 2007  
**KD PARTNERS, LLC**  
 22100 CALIFORNIA AVENUE, SUITE 100  
 IRVINE, CALIFORNIA 92614  
 TEL: 949.261.1000  
 FAX: 949.261.1001  
 WWW.KDPARTNERS.COM

**PLAN PREPARED BY:**  
**PACIFIC COAST CIVIL, INC.**  
 10000 WILSON AVENUE, SUITE 100  
 IRVINE, CALIFORNIA 92618  
 TEL: 949.261.1000  
 FAX: 949.261.1001  
 WWW.PCCIVIL.COM

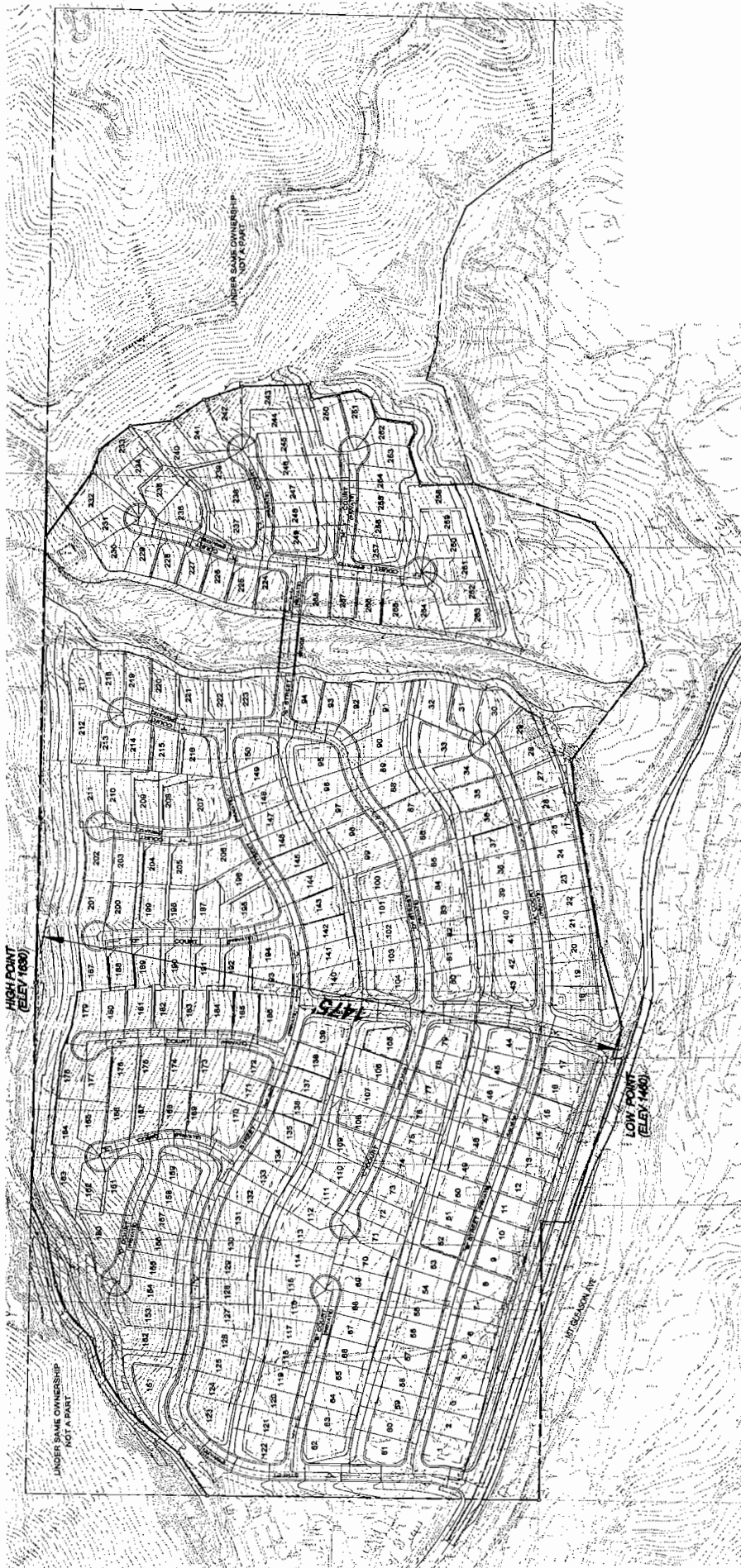


**LAND USE MANAGER:**  
 RZF SEARCY  
 10000 WILSON AVENUE, SUITE 100  
 IRVINE, CALIFORNIA 92618  
 TEL: 949.261.1000  
 FAX: 949.261.1001  
 WWW.PCCIVIL.COM

SEE SHEET FOR  
 CONTIGUOUS MAPS  
 AND MATTER







**AVERAGE SLOPE EXHIBIT  
VESTING TENTATIVE  
TRACT MAP NO. 66214**

**KD PARTNERS, LLC**  
 10000 W. 10TH AVE., SUITE 100  
 DENVER, CO 80202  
 TEL: 303.733.1111  
 FAX: 303.733.1112

**PLAN PREPARED BY:**  
 JAMES W. HANCOCK, INC.  
 10000 W. 10TH AVE., SUITE 100  
 DENVER, CO 80202  
 TEL: 303.733.1111  
 FAX: 303.733.1112

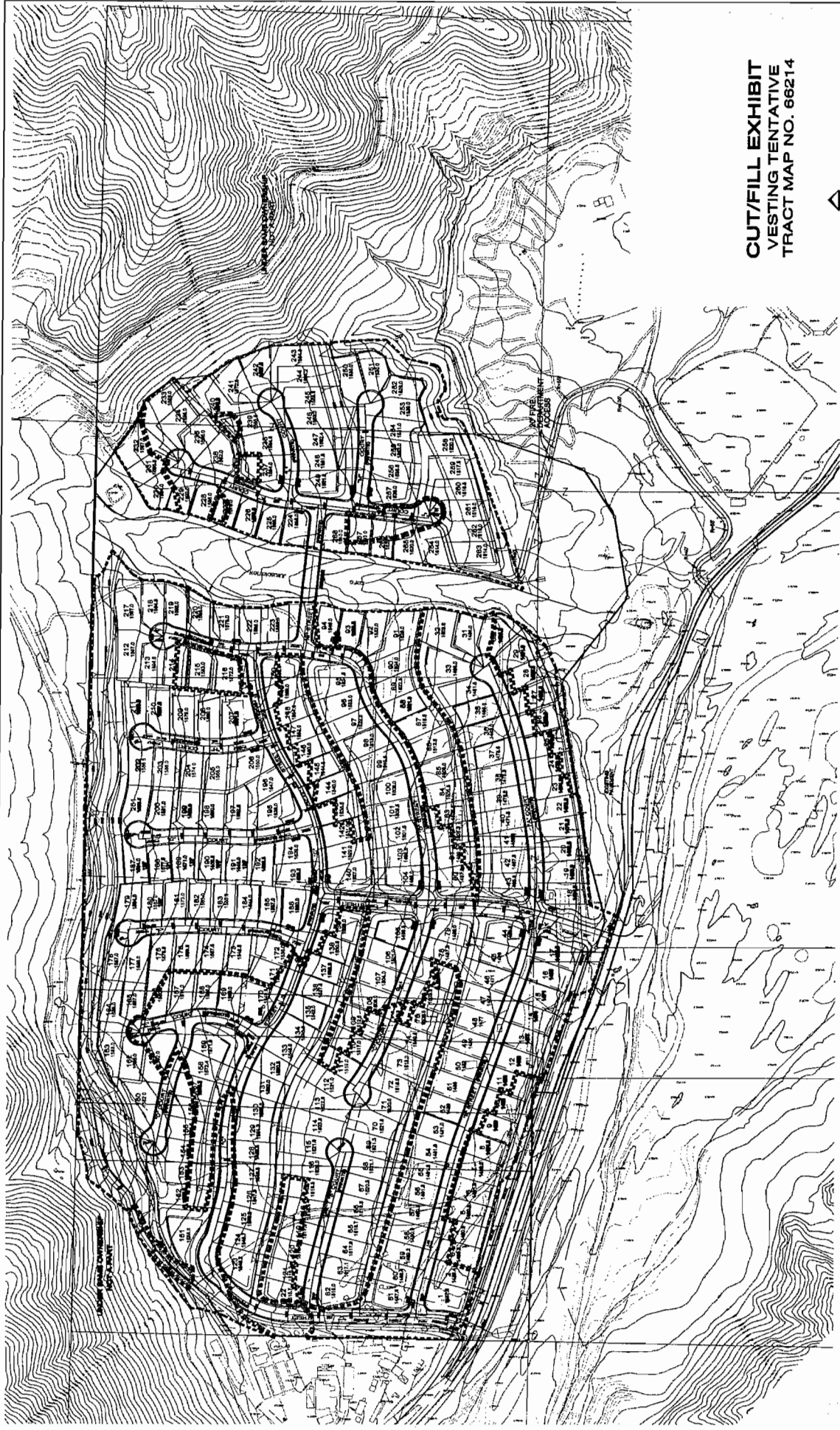
**LAND USE MANAGER:**  
 GUY B. GUNY  
 10000 W. 10TH AVE., SUITE 100  
 DENVER, CO 80202  
 TEL: 303.733.1111  
 FAX: 303.733.1112

**170/1475=11.5%**



**SCALE: 1"=100'**





**CUT/FILL EXHIBIT  
VESTING TENTATIVE  
TRACT MAP NO. 66214**

**KD PARTNERS, Inc.**  
 10000 W. 10th Ave., Suite 100  
 Denver, CO 80202  
 (303) 751-1000

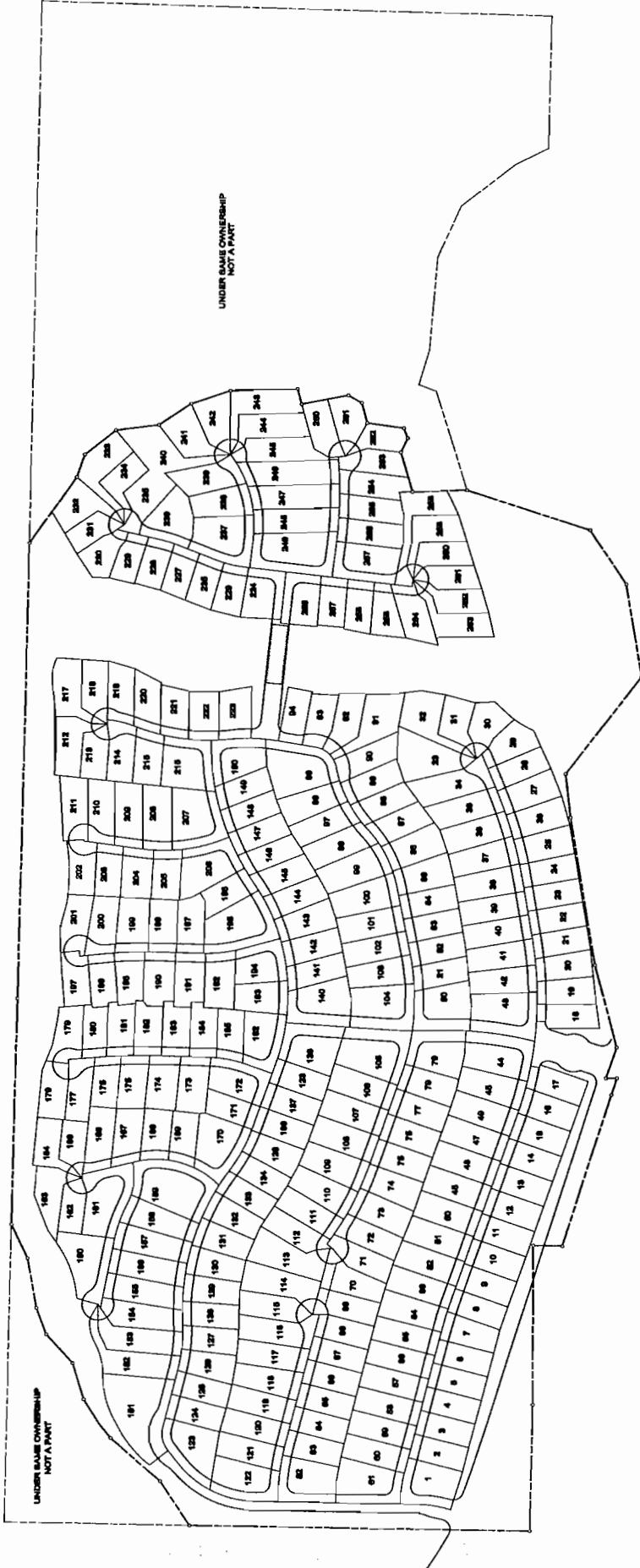
**PLAN PREPARED BY:**  
 KENNETH D. KENNEDY & ASSOCIATES, INC.  
 10000 W. 10th Ave., Suite 100  
 Denver, CO 80202  
 (303) 751-1000

**LAND USE MANAGER:**  
 KENNETH D. KENNEDY & ASSOCIATES, INC.  
 10000 W. 10th Ave., Suite 100  
 Denver, CO 80202  
 (303) 751-1000

**LEGEND:**  
 CUT - - - -  
 FILL - - - -



**SCALE: 1"=100'**



**LOT NUMBER INDEX  
VESTING TENTATIVE  
TRACT MAP NO. 66214**

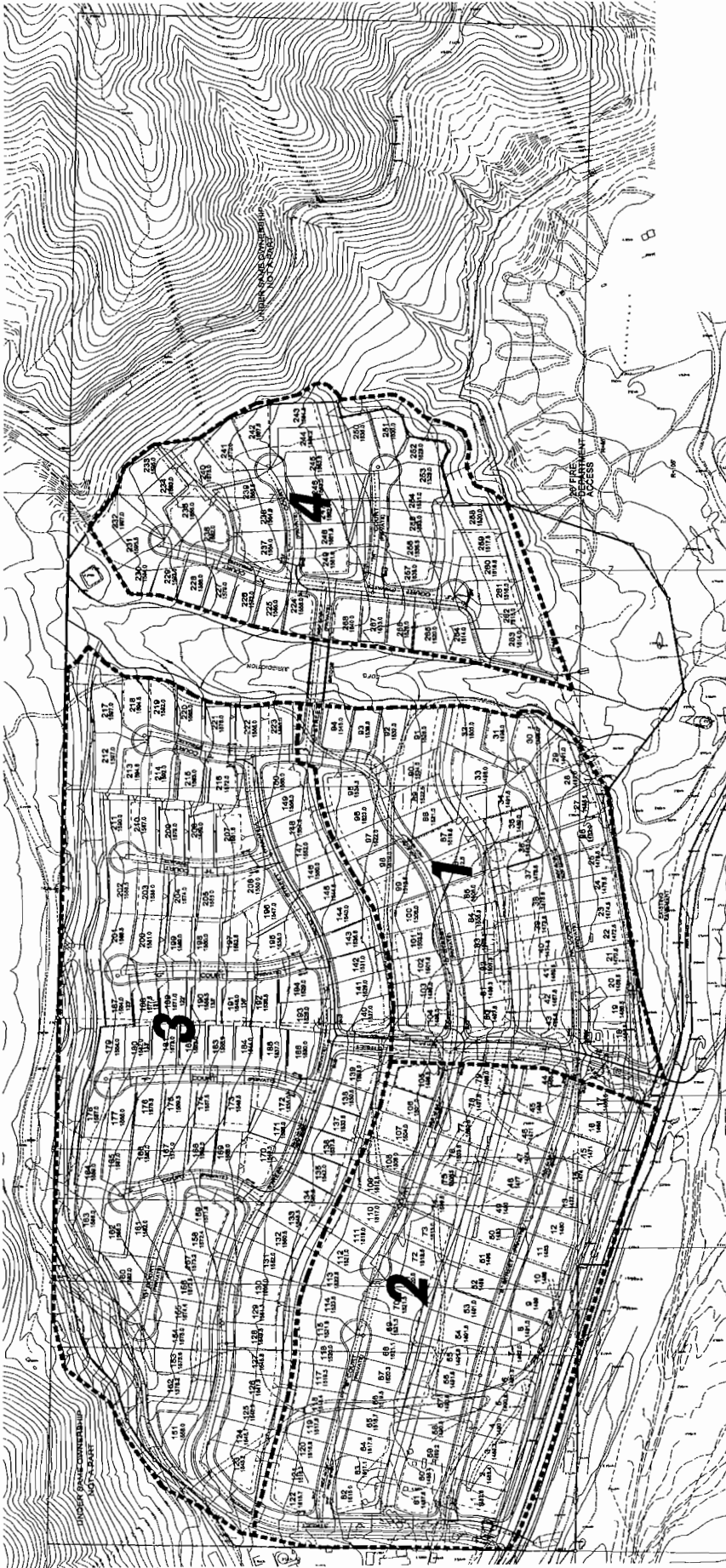
**KD PARTNERS, LLC**  
 10000 WILSON AVENUE, SUITE 200  
 SAN DIEGO, CALIFORNIA 92121  
 (619) 594-1000  
 WWW.KDPARTNERS.COM

**PLAN PREPARED BY:**  
**PACIFIC COAST CIVIL, INC.**  
 10000 WILSON AVENUE, SUITE 200  
 SAN DIEGO, CALIFORNIA 92121  
 (619) 594-1000  
 WWW.PCCIVIL.COM

**LAND USE MANAGER:**  
**RCP SEARCH**  
 10000 WILSON AVENUE, SUITE 200  
 SAN DIEGO, CALIFORNIA 92121  
 (619) 594-1000  
 WWW.RCPSEARCH.COM

**LOT SIZE TABLE**

LOT NUMBER	SIZE ACRES	LOT NUMBER	SIZE ACRES	LOT NUMBER	SIZE ACRES	LOT NUMBER	SIZE ACRES	LOT NUMBER	SIZE ACRES
1	0.10	101	0.10	201	0.10	301	0.10	401	0.10
2	0.10	102	0.10	202	0.10	302	0.10	402	0.10
3	0.10	103	0.10	203	0.10	303	0.10	403	0.10
4	0.10	104	0.10	204	0.10	304	0.10	404	0.10
5	0.10	105	0.10	205	0.10	305	0.10	405	0.10
6	0.10	106	0.10	206	0.10	306	0.10	406	0.10
7	0.10	107	0.10	207	0.10	307	0.10	407	0.10
8	0.10	108	0.10	208	0.10	308	0.10	408	0.10
9	0.10	109	0.10	209	0.10	309	0.10	409	0.10
10	0.10	110	0.10	210	0.10	310	0.10	410	0.10
11	0.10	111	0.10	211	0.10	311	0.10	411	0.10
12	0.10	112	0.10	212	0.10	312	0.10	412	0.10
13	0.10	113	0.10	213	0.10	313	0.10	413	0.10
14	0.10	114	0.10	214	0.10	314	0.10	414	0.10
15	0.10	115	0.10	215	0.10	315	0.10	415	0.10
16	0.10	116	0.10	216	0.10	316	0.10	416	0.10
17	0.10	117	0.10	217	0.10	317	0.10	417	0.10
18	0.10	118	0.10	218	0.10	318	0.10	418	0.10
19	0.10	119	0.10	219	0.10	319	0.10	419	0.10
20	0.10	120	0.10	220	0.10	320	0.10	420	0.10
21	0.10	121	0.10	221	0.10	321	0.10	421	0.10
22	0.10	122	0.10	222	0.10	322	0.10	422	0.10
23	0.10	123	0.10	223	0.10	323	0.10	423	0.10
24	0.10	124	0.10	224	0.10	324	0.10	424	0.10
25	0.10	125	0.10	225	0.10	325	0.10	425	0.10
26	0.10	126	0.10	226	0.10	326	0.10	426	0.10
27	0.10	127	0.10	227	0.10	327	0.10	427	0.10
28	0.10	128	0.10	228	0.10	328	0.10	428	0.10
29	0.10	129	0.10	229	0.10	329	0.10	429	0.10
30	0.10	130	0.10	230	0.10	330	0.10	430	0.10
31	0.10	131	0.10	231	0.10	331	0.10	431	0.10
32	0.10	132	0.10	232	0.10	332	0.10	432	0.10
33	0.10	133	0.10	233	0.10	333	0.10	433	0.10
34	0.10	134	0.10	234	0.10	334	0.10	434	0.10
35	0.10	135	0.10	235	0.10	335	0.10	435	0.10
36	0.10	136	0.10	236	0.10	336	0.10	436	0.10
37	0.10	137	0.10	237	0.10	337	0.10	437	0.10
38	0.10	138	0.10	238	0.10	338	0.10	438	0.10
39	0.10	139	0.10	239	0.10	339	0.10	439	0.10
40	0.10	140	0.10	240	0.10	340	0.10	440	0.10
41	0.10	141	0.10	241	0.10	341	0.10	441	0.10
42	0.10	142	0.10	242	0.10	342	0.10	442	0.10
43	0.10	143	0.10	243	0.10	343	0.10	443	0.10
44	0.10	144	0.10	244	0.10	344	0.10	444	0.10
45	0.10	145	0.10	245	0.10	345	0.10	445	0.10
46	0.10	146	0.10	246	0.10	346	0.10	446	0.10
47	0.10	147	0.10	247	0.10	347	0.10	447	0.10
48	0.10	148	0.10	248	0.10	348	0.10	448	0.10
49	0.10	149	0.10	249	0.10	349	0.10	449	0.10
50	0.10	150	0.10	250	0.10	350	0.10	450	0.10
51	0.10	151	0.10	251	0.10	351	0.10	451	0.10
52	0.10	152	0.10	252	0.10	352	0.10	452	0.10
53	0.10	153	0.10	253	0.10	353	0.10	453	0.10
54	0.10	154	0.10	254	0.10	354	0.10	454	0.10
55	0.10	155	0.10	255	0.10	355	0.10	455	0.10
56	0.10	156	0.10	256	0.10	356	0.10	456	0.10
57	0.10	157	0.10	257	0.10	357	0.10	457	0.10
58	0.10	158	0.10	258	0.10	358	0.10	458	0.10
59	0.10	159	0.10	259	0.10	359	0.10	459	0.10
60	0.10	160	0.10	260	0.10	360	0.10	460	0.10
61	0.10	161	0.10	261	0.10	361	0.10	461	0.10
62	0.10	162	0.10	262	0.10	362	0.10	462	0.10
63	0.10	163	0.10	263	0.10	363	0.10	463	0.10
64	0.10	164	0.10	264	0.10	364	0.10	464	0.10
65	0.10	165	0.10	265	0.10	365	0.10	465	0.10
66	0.10	166	0.10	266	0.10	366	0.10	466	0.10
67	0.10	167	0.10	267	0.10	367	0.10	467	0.10
68	0.10	168	0.10	268	0.10	368	0.10	468	0.10
69	0.10	169	0.10	269	0.10	369	0.10	469	0.10
70	0.10	170	0.10	270	0.10	370	0.10	470	0.10
71	0.10	171	0.10	271	0.10	371	0.10	471	0.10
72	0.10	172	0.10	272	0.10	372	0.10	472	0.10
73	0.10	173	0.10	273	0.10	373	0.10	473	0.10
74	0.10	174	0.10	274	0.10	374	0.10	474	0.10
75	0.10	175	0.10	275	0.10	375	0.10	475	0.10
76	0.10	176	0.10	276	0.10	376	0.10	476	0.10
77	0.10	177	0.10	277	0.10	377	0.10	477	0.10
78	0.10	178	0.10	278	0.10	378	0.10	478	0.10
79	0.10	179	0.10	279	0.10	379	0.10	479	0.10
80	0.10	180	0.10	280	0.10	380	0.10	480	0.10
81	0.10	181	0.10	281	0.10	381	0.10	481	0.10
82	0.10	182	0.10	282	0.10	382	0.10	482	0.10
83	0.10	183	0.10	283	0.10	383	0.10	483	0.10
84	0.10	184	0.10	284	0.10	384	0.10	484	0.10
85	0.10	185	0.10	285	0.10	385	0.10	485	0.10
86	0.10	186	0.10	286	0.10	386	0.10	486	0.10
87	0.10	187	0.10	287	0.10	387	0.10	487	0.10
88	0.10	188	0.10	288	0.10	388	0.10	488	0.10
89	0.10	189	0.10	289	0.10	389	0.10	489	0.10
90	0.10	190	0.10	290	0.10	390	0.10	490	0.10
91	0.10	191	0.10	291	0.10	391	0.10	491	0.10
92	0.10	192	0.10	292	0.10	392	0.10	492	0.10
93	0.10	193	0.10	293	0.10	393	0.10	493	0.10
94	0.10	194	0.10	294	0.10	394	0.10	494	0.10
95	0.10	195	0.10	295	0.10	395	0.10	495	0.10
96	0.10	196	0.10	296	0.10	396	0.10	496	0.10
97	0.10	197	0.10	297	0.10	397	0.10	497	0.10
98	0.10	198	0.10	298	0.10	398	0.10	498	0.10
99	0.10	199	0.10	299	0.10	399	0.10	499	0.10
100	0.10	200	0.10	300	0.10	400	0.10	500	0.10
101	0.10	201	0.10	301	0.10	401	0.10	501	0.10
102	0.10	202	0.10	302	0.10	402	0.10	502	0.10
103	0.10	203	0.10	303	0.10	403	0.10	503	0.10
104	0.10	204	0.10	304	0.10	404	0.10	504	0.10
105	0.10	205	0.10	305	0.10	405	0.10	505	0.10
106	0.10	206	0.10	306	0.10	406	0.10	506	0.10
107	0.10	207	0.10	307	0.10	407	0.10	507	0.10
108	0.10	208	0.10	308	0.10	408	0.10	508	0.10
109	0.10	209	0.10	309	0.10	409	0.10	509	0.10
110	0.10	210	0.10	310	0.10	410	0.10	510	0.10
111	0.10	211	0.10	311	0.10	411	0.10	511	0.10
112	0.10	212	0.10	312	0.10	412	0.10	512	0.10
113	0.10	213	0.10	313	0.10	413	0.10	513	0.10
114	0.10	214	0.10	314	0.10	414	0.10	514	0.10
115	0.10	215	0.10	315	0.10	415	0.10	515	0.10
116	0.10	216	0.10	316	0.10	416	0.10	516	0.10
117	0.10	217	0.10	317	0.10	417	0.10	517	0.10
118	0.10	218	0.10	318	0.10	418	0.10	518	0.10
119	0.10	219	0.10	319	0.10	419	0.10	519	0.10
120	0.10	220	0.10	320	0.10	420	0.10	520	0.10
121	0.10	221	0.10	321	0.10	421	0.10	521	0.10
122	0.10	222	0.10	322	0.10	422	0.10	522	0.10
123	0.10	223	0.10	323	0.10	423	0.10	523	0.10
124	0.10	224	0.10	324	0.10	424	0.10	524	0.10
125	0.10	225	0.10	325	0.10	425	0.10	525	0.10
126	0.10	226	0.10	326	0.10	426	0.10	526	0.10
127	0.10	227	0.10	327	0.10	427	0.10	527	0.10
128	0.10	228	0.10	328	0.10	428	0.10	528	0.10
129	0.10	229	0.10	329	0.10	429	0.10	529	0.10
130	0.10	230	0.10	330	0.10	430	0.10	530	0.10
131	0.10	231	0.10	331	0.10	431	0.10	531	0.10
132	0.10	232							



**PHASING EXHIBIT  
VESTING TENTATIVE  
TRACT MAP NO. 66214**

**KD PARTNERS, LLC**  
 225 COLLEGE AVENUE, SUITE 200  
 HOUSTON, TEXAS 77002  
 TEL: 281.465.1100  
 WWW.KDPARTNERS.COM

**PLAN PREPARED BY:**  
**CDM GROUP, INC.**  
 2001 W. AUSTIN AVENUE, SUITE 200  
 HOUSTON, TEXAS 77002  
 TEL: 281.465.1100  
 WWW.CDMGROUP.COM



**LAND USE MANAGER:**  
 JOHN J. KANE  
 2001 W. AUSTIN AVENUE, SUITE 200  
 HOUSTON, TEXAS 77002  
 TEL: 281.465.1100  
 WWW.CDMGROUP.COM



**SCALE: 1"=100'**





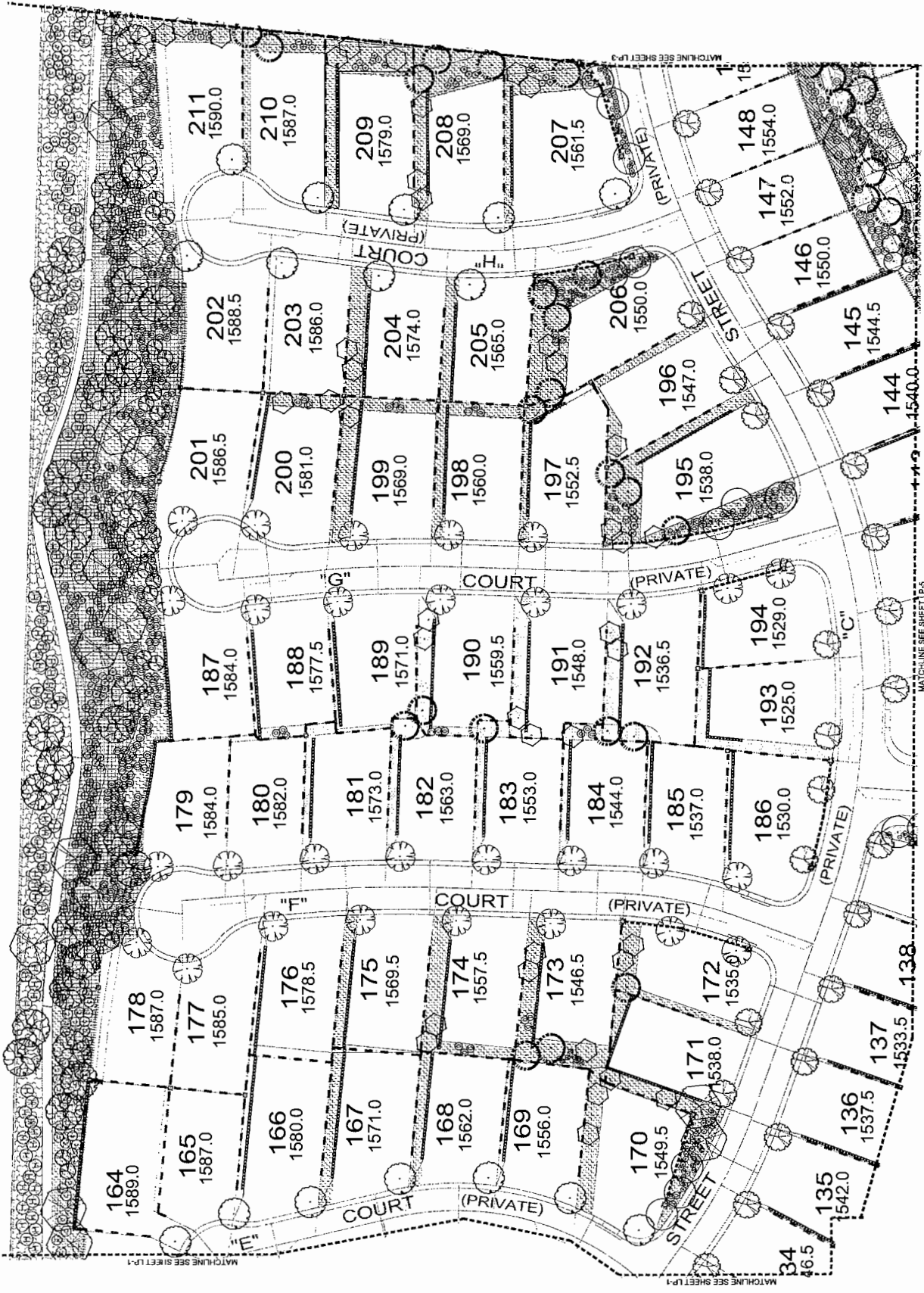
# Stonebridge Canyon Estates

DATE	10/15/2007
BY	LA 13207
CHECKED	LA 13207
DATE	
BY	
CHECKED	

PLANTING PLAN

SHEET NO. 3122

LP-2



MATCHLINE SEE SHEET LP-3

**LEGEND:**

- 6" HT. STONE VENEER WALL  
SEE DETAIL "E" SHEET LP-1
- 9" HT. SLUMP BLOCK WALL WITH 3 SCORE CAP  
USING 6"X4" 6" BLOCK
- 5" HT. TUBULAR STEEL FENCE
- 12" HT. SLUMP BLOCK WALL WITH 3 SCORE CAP  
USING 6"X4" 6" BLOCK
- 6" HT. STONE VENEER PLASTER WITH CAP  
SEE DETAIL "F" SHEET LP-1



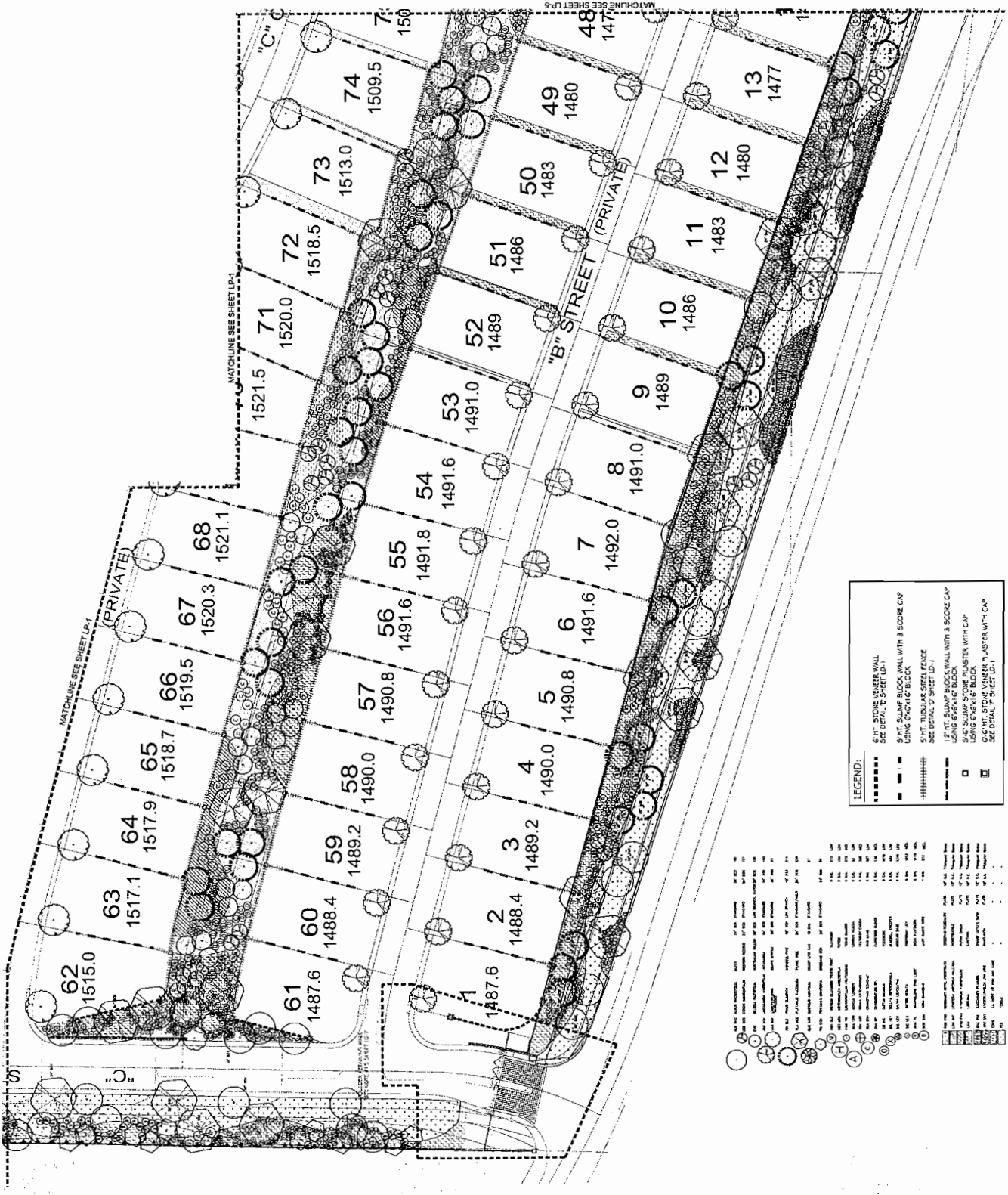
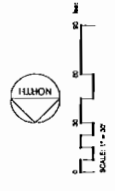








DATE	
DESIGNED BY	
DRAWN BY	
CHECKED BY	
APPROVED BY	
PROJECT NO.	
SHEET NO.	



**LEGEND:**

- 6" PT. STONE VENEER WALL WITH 3" SCORE CAP (SEE DETAIL "D" SHEET 01)
- 5" PT. SALVAP BLOCK WALL WITH 3" SCORE CAP USING 6"X4" BLOCK (SEE DETAIL "D" SHEET 01)
- 5" PT. SUBURBAN STEEL FENCE USING 2"X4" POSTS (SEE DETAIL "D" SHEET 01)
- 5" PT. STONE VENEER WALL WITH 3" SCORE CAP USING 6"X4" BLOCK (SEE DETAIL "D" SHEET 01)
- 5" PT. STONE VENEER PLASTER WITH CAP (SEE DETAIL "D" SHEET 01)

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	6" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
2	5" PT. SALVAP BLOCK WALL WITH 3" SCORE CAP	100	LF	10.00	1000.00
3	5" PT. SUBURBAN STEEL FENCE	100	LF	8.00	800.00
4	5" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
5	5" PT. STONE VENEER PLASTER WITH CAP	100	LF	10.00	1000.00
6	6" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
7	5" PT. SALVAP BLOCK WALL WITH 3" SCORE CAP	100	LF	10.00	1000.00
8	5" PT. SUBURBAN STEEL FENCE	100	LF	8.00	800.00
9	5" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
10	5" PT. STONE VENEER PLASTER WITH CAP	100	LF	10.00	1000.00
11	6" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
12	5" PT. SALVAP BLOCK WALL WITH 3" SCORE CAP	100	LF	10.00	1000.00
13	5" PT. SUBURBAN STEEL FENCE	100	LF	8.00	800.00
14	5" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
15	5" PT. STONE VENEER PLASTER WITH CAP	100	LF	10.00	1000.00
16	6" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
17	5" PT. SALVAP BLOCK WALL WITH 3" SCORE CAP	100	LF	10.00	1000.00
18	5" PT. SUBURBAN STEEL FENCE	100	LF	8.00	800.00
19	5" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
20	5" PT. STONE VENEER PLASTER WITH CAP	100	LF	10.00	1000.00
21	6" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
22	5" PT. SALVAP BLOCK WALL WITH 3" SCORE CAP	100	LF	10.00	1000.00
23	5" PT. SUBURBAN STEEL FENCE	100	LF	8.00	800.00
24	5" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
25	5" PT. STONE VENEER PLASTER WITH CAP	100	LF	10.00	1000.00
26	6" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
27	5" PT. SALVAP BLOCK WALL WITH 3" SCORE CAP	100	LF	10.00	1000.00
28	5" PT. SUBURBAN STEEL FENCE	100	LF	8.00	800.00
29	5" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
30	5" PT. STONE VENEER PLASTER WITH CAP	100	LF	10.00	1000.00
31	6" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
32	5" PT. SALVAP BLOCK WALL WITH 3" SCORE CAP	100	LF	10.00	1000.00
33	5" PT. SUBURBAN STEEL FENCE	100	LF	8.00	800.00
34	5" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
35	5" PT. STONE VENEER PLASTER WITH CAP	100	LF	10.00	1000.00
36	6" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
37	5" PT. SALVAP BLOCK WALL WITH 3" SCORE CAP	100	LF	10.00	1000.00
38	5" PT. SUBURBAN STEEL FENCE	100	LF	8.00	800.00
39	5" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
40	5" PT. STONE VENEER PLASTER WITH CAP	100	LF	10.00	1000.00
41	6" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
42	5" PT. SALVAP BLOCK WALL WITH 3" SCORE CAP	100	LF	10.00	1000.00
43	5" PT. SUBURBAN STEEL FENCE	100	LF	8.00	800.00
44	5" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
45	5" PT. STONE VENEER PLASTER WITH CAP	100	LF	10.00	1000.00
46	6" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
47	5" PT. SALVAP BLOCK WALL WITH 3" SCORE CAP	100	LF	10.00	1000.00
48	5" PT. SUBURBAN STEEL FENCE	100	LF	8.00	800.00
49	5" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
50	5" PT. STONE VENEER PLASTER WITH CAP	100	LF	10.00	1000.00
51	6" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
52	5" PT. SALVAP BLOCK WALL WITH 3" SCORE CAP	100	LF	10.00	1000.00
53	5" PT. SUBURBAN STEEL FENCE	100	LF	8.00	800.00
54	5" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
55	5" PT. STONE VENEER PLASTER WITH CAP	100	LF	10.00	1000.00
56	6" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
57	5" PT. SALVAP BLOCK WALL WITH 3" SCORE CAP	100	LF	10.00	1000.00
58	5" PT. SUBURBAN STEEL FENCE	100	LF	8.00	800.00
59	5" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
60	5" PT. STONE VENEER PLASTER WITH CAP	100	LF	10.00	1000.00
61	6" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
62	5" PT. SALVAP BLOCK WALL WITH 3" SCORE CAP	100	LF	10.00	1000.00
63	5" PT. SUBURBAN STEEL FENCE	100	LF	8.00	800.00
64	5" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
65	5" PT. STONE VENEER PLASTER WITH CAP	100	LF	10.00	1000.00
66	6" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
67	5" PT. SALVAP BLOCK WALL WITH 3" SCORE CAP	100	LF	10.00	1000.00
68	5" PT. SUBURBAN STEEL FENCE	100	LF	8.00	800.00
69	5" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
70	5" PT. STONE VENEER PLASTER WITH CAP	100	LF	10.00	1000.00
71	6" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
72	5" PT. SALVAP BLOCK WALL WITH 3" SCORE CAP	100	LF	10.00	1000.00
73	5" PT. SUBURBAN STEEL FENCE	100	LF	8.00	800.00
74	5" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
75	5" PT. STONE VENEER PLASTER WITH CAP	100	LF	10.00	1000.00
76	6" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
77	5" PT. SALVAP BLOCK WALL WITH 3" SCORE CAP	100	LF	10.00	1000.00
78	5" PT. SUBURBAN STEEL FENCE	100	LF	8.00	800.00
79	5" PT. STONE VENEER WALL WITH 3" SCORE CAP	100	LF	12.00	1200.00
80	5" PT. STONE VENEER PLASTER WITH CAP	100	LF	10.00	1000.00

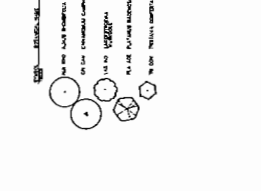
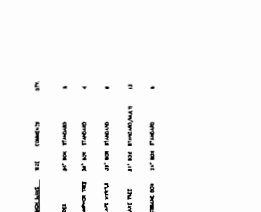
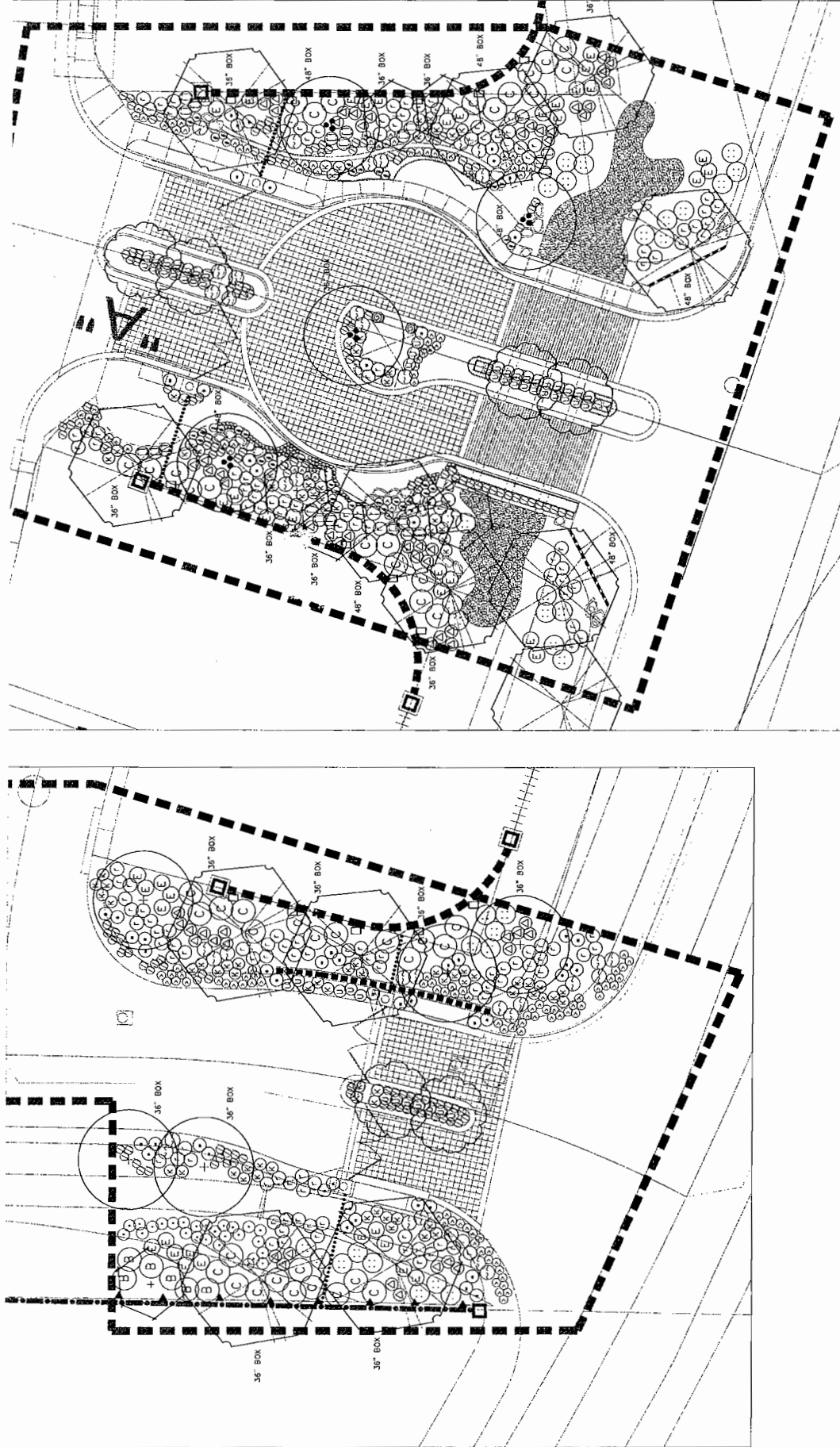
# Stonebridge Canyon Estates

DATE	04/12/2011
PROJECT NAME	STONEBRIDGE CANYON ESTATES
PROJECT FILE #	04/12/2011
DESIGNER	
DRAWN BY	
CHECKED BY	
DATE	

PLAN  
 3122

LP-7

34 of 33 pages



SYMBOL	DESCRIPTION
(A)	1.00' PLANTING BOX
(B)	1.00' PLANTING BOX
(C)	1.00' PLANTING BOX
(D)	1.00' PLANTING BOX
(E)	1.00' PLANTING BOX
(F)	1.00' PLANTING BOX
(G)	1.00' PLANTING BOX
(H)	1.00' PLANTING BOX
(I)	1.00' PLANTING BOX
(J)	1.00' PLANTING BOX
(K)	1.00' PLANTING BOX
(L)	1.00' PLANTING BOX

SYMBOL	DESCRIPTION
(A)	1.00' PLANTING BOX
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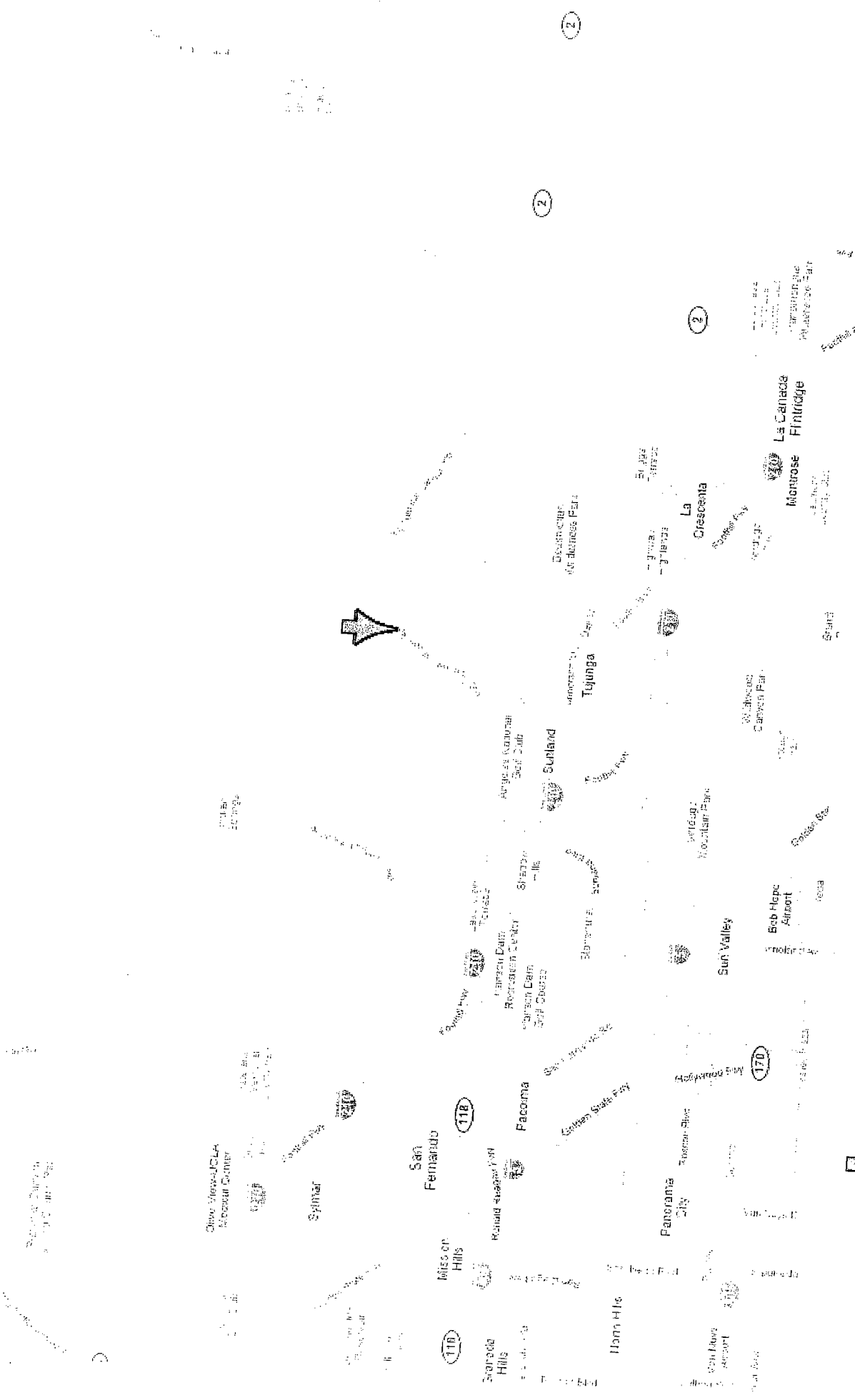
SYMBOL	DESCRIPTION
(A)	1.00' PLANTING BOX
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(J)	1.00' PLANTING BOX
(K)	1.00' PLANTING BOX
(L)	1.00' PLANTING BOX



12400 Big Tujunga Cyn  
Tujunga, CA 91042



# VICINITY MAP

JPL Zoning Services, Inc  
6263 Van Nuys Blvd  
Van Nuys, CA 91401



12282 BIG TUJUNCA CANYON RD, LOS ANGELES, CA

USGS

An aerial, black-and-white photograph showing a rugged, mountainous terrain. A winding road or path is visible, leading to a small, rectangular structure or building situated in a valley. The surrounding area is characterized by steep, rocky slopes and sparse vegetation. The overall scene depicts a remote, high-altitude location.

12232 BIG TUJUNGA CANYON RD., LOS ANGELES, CA















Search: ENV 2007-4366

 [Search Help](#)**Search Results**

Your search produced 9 results. Please select the case you intended to find.

Case Number	Property Address	Project Description
1. <a href="#">ENV-2007-4366-EAF</a>	12000 UNKNOWN STREET NAME	VESTING TENTATIVE TRACT, VESTING ZONE CHANGE INCIDENT TO SUBDIVISION, AND ZONING ADMINISTRATOR'S ADJUSTMENT(S) IN A HILLSIDE AREA FOR 268 DETACHED SINGLE FAMILY DWELLINGS.
2. <a href="#">ENV-2007-4366-EAF</a>	7200 UNKNOWN STREET NAME	VESTING TENTATIVE TRACT, VESTING ZONE CHANGE INCIDENT TO SUBDIVISION, AND ZONING ADMINISTRATOR'S ADJUSTMENT(S) IN A HILLSIDE AREA FOR 268 DETACHED SINGLE FAMILY DWELLINGS.
3. <a href="#">ENV-2007-4366-EAF</a>	12100 UNKNOWN STREET NAME	VESTING TENTATIVE TRACT, VESTING ZONE CHANGE INCIDENT TO SUBDIVISION, AND ZONING ADMINISTRATOR'S ADJUSTMENT(S) IN A HILLSIDE AREA FOR 268 DETACHED SINGLE FAMILY DWELLINGS.
4. <a href="#">ENV-2007-4366-EAF</a>	12232 N BIG TUJUNGA CANYON ROAD	VESTING TENTATIVE TRACT, VESTING ZONE CHANGE INCIDENT TO SUBDIVISION, AND ZONING ADMINISTRATOR'S ADJUSTMENT(S) IN A HILLSIDE AREA FOR 268 DETACHED SINGLE FAMILY DWELLINGS.
5. <a href="#">ENV-2007-4366-EAF</a>	12300 N BIG TUJUNGA CANYON ROAD	VESTING TENTATIVE TRACT, VESTING ZONE CHANGE INCIDENT TO SUBDIVISION, AND ZONING ADMINISTRATOR'S ADJUSTMENT(S) IN A HILLSIDE AREA FOR 268 DETACHED SINGLE FAMILY DWELLINGS.
6. <a href="#">ENV-2007-4366-EAF</a>	12400 N BIG TUJUNGA CANYON ROAD	VESTING TENTATIVE TRACT, VESTING ZONE CHANGE INCIDENT TO SUBDIVISION, AND ZONING ADMINISTRATOR'S ADJUSTMENT(S) IN A HILLSIDE AREA FOR 268 DETACHED SINGLE FAMILY DWELLINGS.
7. <a href="#">ENV-2007-4366-EAF</a>	12100 N BIG TUJUNGA CANYON ROAD	VESTING TENTATIVE TRACT, VESTING ZONE CHANGE INCIDENT TO SUBDIVISION, AND ZONING ADMINISTRATOR'S ADJUSTMENT(S) IN A HILLSIDE AREA FOR 268 DETACHED SINGLE FAMILY DWELLINGS.
8. <a href="#">ENV-2007-4366-EAF</a>	12240 N BIG TUJUNGA CANYON ROAD	VESTING TENTATIVE TRACT, VESTING ZONE CHANGE INCIDENT TO SUBDIVISION, AND ZONING ADMINISTRATOR'S ADJUSTMENT(S) IN A HILLSIDE AREA FOR 268 DETACHED SINGLE FAMILY DWELLINGS.
9. <a href="#">ENV-2007-4366-EAF</a>	7100 UNKNOWN STREET NAME	VESTING TENTATIVE TRACT, VESTING ZONE CHANGE INCIDENT TO SUBDIVISION, AND ZONING ADMINISTRATOR'S ADJUSTMENT(S) IN A HILLSIDE AREA FOR 268 DETACHED SINGLE FAMILY DWELLINGS.

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**Case Information Summary Sheet**

<b>Case Number:</b>	ENV-2007-4366-EAF
<b>Address:</b>	12000 UNKNOWN STREET NAME
<b>Primary Zone:</b>	Data Not Available
<b>Planning Area:</b>	Sunland - Tujunga - Lake View Terrace - Shadow Hills - East La Tuna Canyon
<b>Council District(s):</b>	2
<b>Certified Neighborhood Council (CNC):</b>	Sunland - Tujunga
<b>Area Planning Commission (APC):</b>	NORTH VALLEY
<b>Historic Preservation Overlay Zone:</b>	Data Not Available
<b>Historic Cultural Monument:</b>	Data Not Available
<b>Project Description:</b>	VESTING TENTATIVE TRACT, VESTING ZONE CHANGE INCIDENT TO SUBDIVISION, AND ZONING ADMINISTRATOR'S ADJUSTMENT(S) IN A HILLSIDE AREA FOR 268 DETACHED SINGLE FAMILY DWELLINGS.
<b>Total Project Area:</b>	Data Not Available
<b>Required Action:</b>	EAF-ENVIRONMENTAL ASSESSMENT
<b>Client Contact Name:</b>	Rob Searcy, Terra Firma Services
<b>Client Contact Phone:</b>	(323) 646-8550
<b>Other Related Cases</b>	
1. <a href="#">CPC-2007-4365-ZC-ZAA-ZAD</a>	

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